



Stack.

TOWN OF COTTESLOE  
DATE RECEIVED  
14 March 2024

# Keogh Residence.

10 Ozone Pde Cottesloe

Note:  
 This PLAN is current as the Surveyed Date, NOT FOR CONSTRUCTION purposes without site collaboration. The cadastral boundary POSITION IS APPROXIMATE & requires survey confirmation. Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Caveats, Covenants etc. All SERVICES require verification from the relevant AUTHORITY - suggest contacting "Dial Before You Dig" for underground services & a site inspection.

LOT RECORDS			
LOT SERVICE	LOCATED	AVAILABLE	NO SERVICE CONFIRM
WATER	✓	✓	✓
SEWERAGE	✓	✓	✓
GAS	✓	✓	✓
TELE.	✓	✓	✓
DRAINAGE	✓	✓	✓
POWER	U/G	✓	✓

AREA: ESTAB 06/1905	
COASTAL DISTANCE	300m
LOT:	8
AREA:	675 m <sup>2</sup>

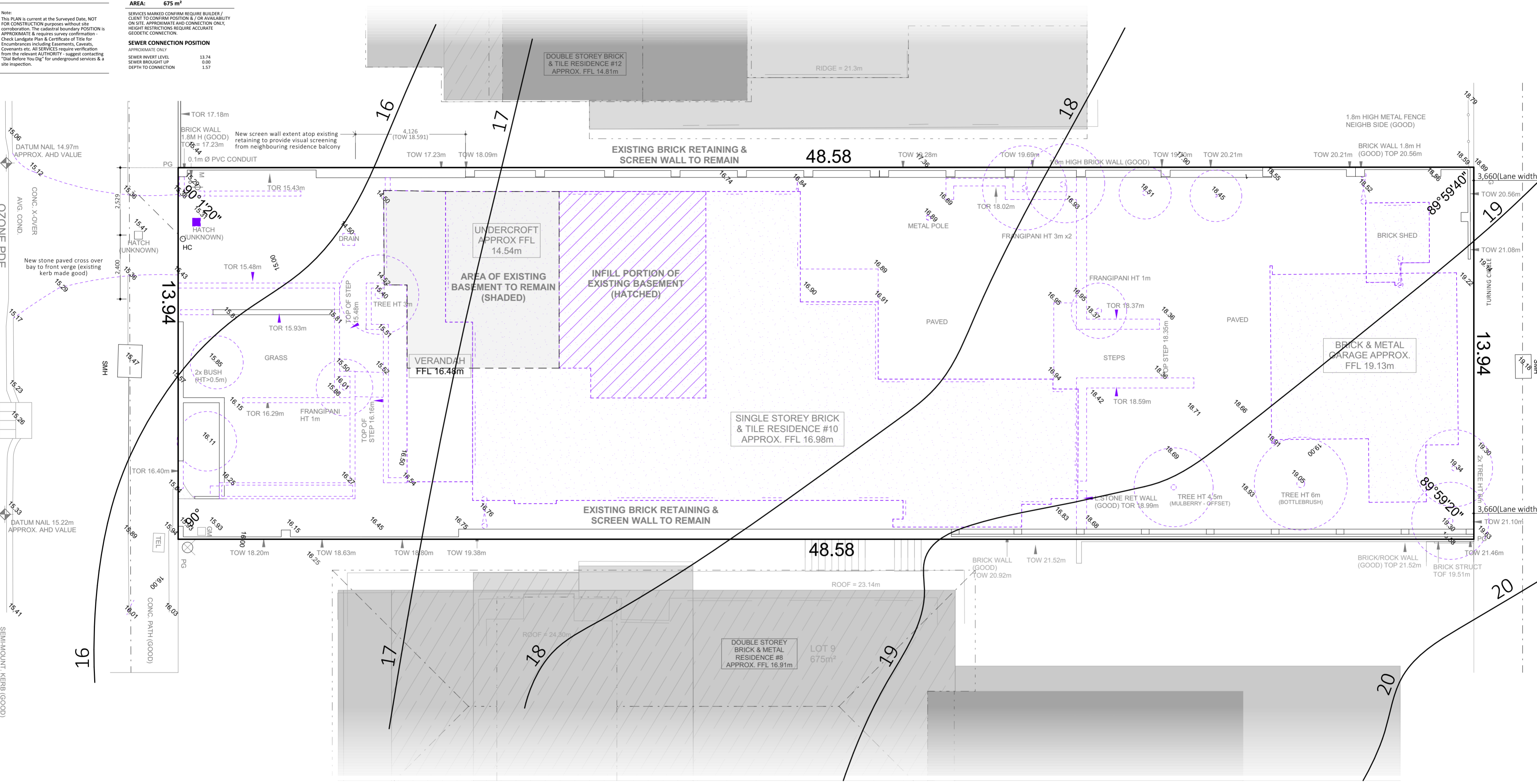
  

SEWER CONNECTION POSITION	
APPROXIMATE ONLY	
SEWER INVERT LEVEL	13.74
SEWER BROUGHT UP	0.00
DEPTH TO CONNECTION	1.37

POWER	SEWERAGE	SURVEY	DRAINAGE	WATER	TELE.
CONSUMER POLE ○ CP	MANHOLE ○ SMH	DATUM NAIL +	MANHOLE ○ DMH	STOP VALVE ○ WSV	PIT ○ TEL
POWER POLE ○ PP	INSPECT. SHAFT ○ IS	PEG FOUND ○ PF	GULLY PIT ○ LDP	HYDRANT ○ HY	PRE-LAID CONN. ○ TPL
LIGHT POLE ○ LP	INSPECT. OPENING ○ IO	PEG DISTURBED ○ PD	LOT PIT ○ LPP	FLUSH POINT ○ FP	GAS ○ G
STAY POLE ○ SP	HOUSE CONNECTION ○ HC	PEG GONE ○ PG	HOUSE CONN. ○ DHC	WATER TAP ○ WTP	PRE-LAID CONN. ○ GPL
S. WIRE ANCHOR ○ SWA	HOUSE CONN. INDICATOR ○ HCI	STAKE FOUND ○ STF	SIDE ENTRY PIT ○ SEP	WATER METER ○ M	METER ○ GM
UNI PILLAR ○ UP	INSPECT. SHAFT CONNECTION ○ ISC		COMBINATION ENTRY PIT ○ CEP	PRE-LAID CONN. ○ WPL	
EXPOSED CABLES ○ EC					

**Site Plan Legend**

- Contour (Watercorp data)
- Elements to be demolished
- Neighbour - Basement
- Neighbour - Ground floor
- Neighbour - Upper floor
- Neighbour - Balcony
- Roof / eave line



**TOWN OF COTTESLOE**  
 DATE RECEIVED  
 14 March 2024

Site plan - Existing  
 Scale 1:100

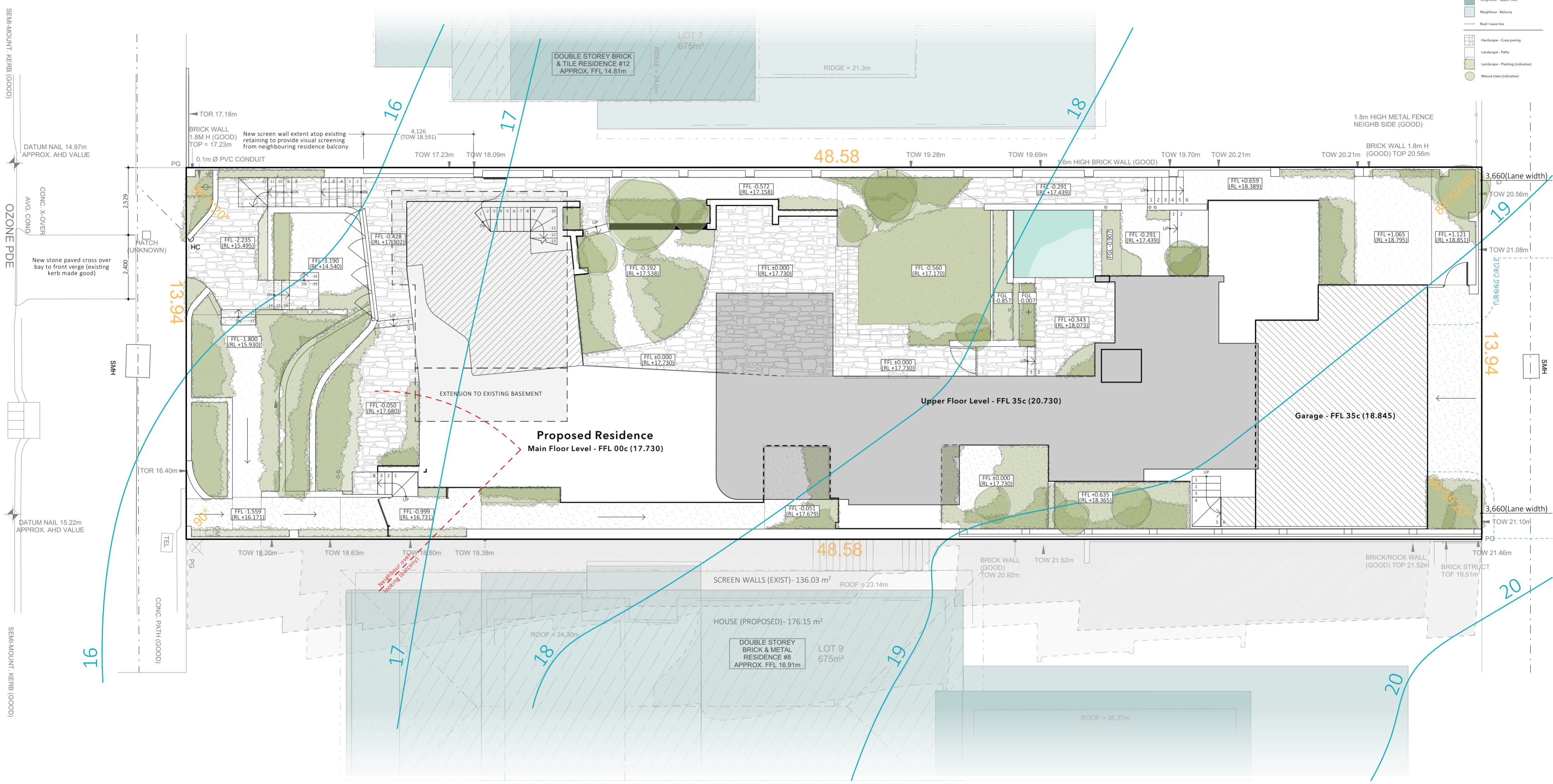
**Site notes**

Existing brick retaining & screen walls  
 Existing retaining & screen walls to remain (new render finish to 10 Ozone facing) unless noted otherwise.

**Extrapolated site levels**  
 Levels nominated as Watercorp contour levels (provided by surveyor) utilised to determine site NGL as advised by ToC planning department.

**Tree planting zone (5.3.2)**  
 Final individual tree location to be confirmed, refer to front yard nominated 'Landscape - Planting' for applicable areas.

Planning Elements		Site Plan Legend	
	Sight lines		Ground Floor FFL 00c (RL 17.730)
	Setback lines		Sunken Lounge FFL 04c (RL 17.387)
	Street setback line		Undercroft (Existing) FFL 13c (RL 14.540)
	Sewer centre line		Garage FFL 04c (RL 18.845)
			Upper floor FFL 35c (RL 20.730)
			Roof / save line
<b>Open Space (5.1.4)</b>			Contour (Watercorp data)
	Site cover area 332m²		Elements to be demolished
	Site area 475m²		Neighbour - Basement
	Site open space 96.96%		Neighbour - Ground floor
			Neighbour - Upper floor
			Neighbour - Balcony
			Roof / save line
<b>Overshadowing (5.4.2)</b>			Hardscape - Crazy paving
	Overshadowing area 176m²		Landscape - Path
	Adjacent lot area 475m²		Landscape - Planting (indicative)
	Overshadowing value 26.07%		Mature trees (indicative)

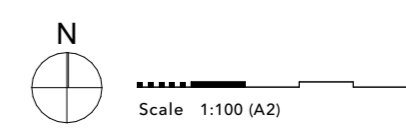


TOWN OF COTTESLOE  
 DATE RECEIVED  
 14 March 2024

Site plan - Proposed  
 Scale 1:100

Stack.

Development Application • 10 Ozone Pde Cottesloe • Keogh Residence / New build









DA01  
 (13/03/2024)  
 Revision

02  
 Sheet

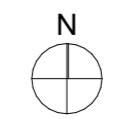
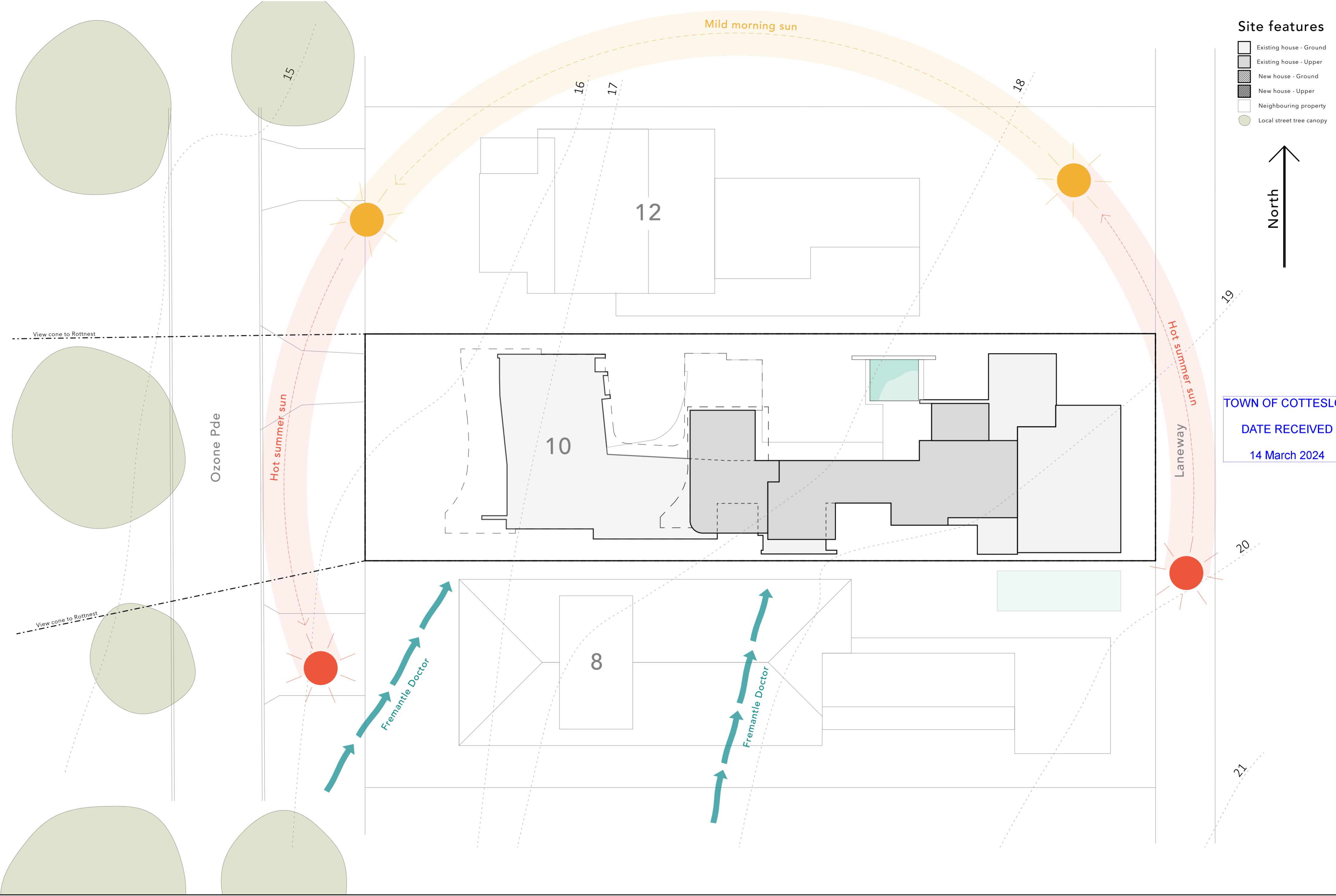
The contents of this document and the design are the IP of Stack Design Pty Ltd (Copyright © 2024)

Site features

-  Existing house - Ground
-  Existing house - Upper
-  New house - Ground
-  New house - Upper
-  Neighbouring property
-  Local street tree canopy



TOWN OF COTTESLOE  
DATE RECEIVED  
14 March 2024



Ozone Pde

Laneway



**Floor Plan**

**Basement floor**

- 1 Lot entry point (Guests)
- 2 Main entrance stairs
- 3 Basement courtyard
- 4 Basement/cellar
- 5 Basement/cellar stairs
- 6 Gated entry (Beach shower / bins)

**Areas**

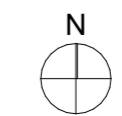
**Basement floor**

Basement/cellar	52 m <sup>2</sup>
Courtyard	14 m <sup>2</sup>
<b>Total Basement level</b>	<b>66 m<sup>2</sup></b>

TOWN OF COTTESLOE

DATE RECEIVED

14 March 2024



TOWN OF COTTESLOE

DATE RECEIVED

14 March 2024



Floor Plan

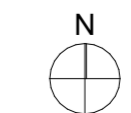
Ground floor

- |                                      |                          |                                |                             |                                |
|--------------------------------------|--------------------------|--------------------------------|-----------------------------|--------------------------------|
| 1 Lot entry point (Guests)           | 7 Basement/cellar stairs | 13 Storage                     | 19 Lightwell courtyard      | 25 Lightwell courtyard         |
| 2 Gated entry (Beach shower / bins)  | 8 Lounge                 | 14 Powder room                 | 20 Guest bathroom           | 26 Laundry / drop room         |
| 3 Basement courtyard                 | 9 Dining                 | 15 Outdoor living              | 21 Storage / lift provision | 27 Garage                      |
| 4 Main entry porch (Guests)          | 10 Kitchen               | 16 Bench / barbeque            | 22 Walk through robe        | 28 Utility / storage space     |
| 5 Royal Cottesloe Gin Club (Balcony) | 11 Larder                | 17 Pool area                   | 23 Ensuite                  | 29 Drying courtyard / services |
| 6 Entry                              | 12 Utility courtyard     | 18 Loggia / spare bed / lounge | 24 Master bedroom           |                                |

Areas

Ground floor

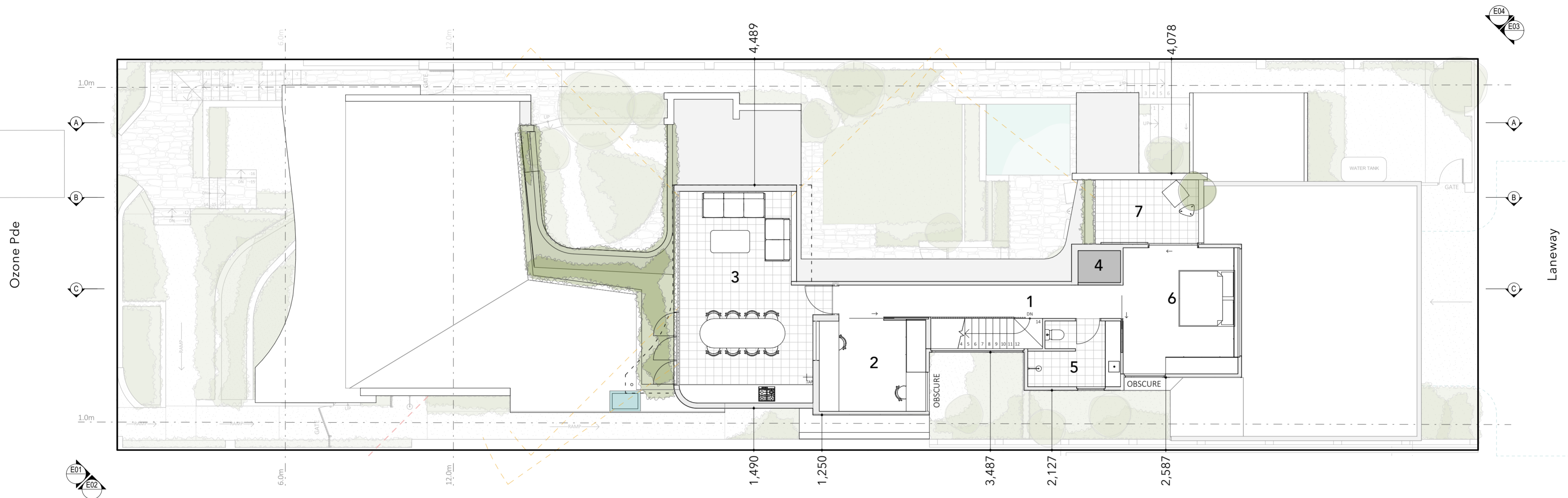
House internal	214 m <sup>2</sup>
Garage & associated	56 m <sup>2</sup>
Porch / Balcony	28 m <sup>2</sup>
Outdoor living	33 m <sup>2</sup>
<b>Total ground</b>	<b>331 m<sup>2</sup></b>



TOWN OF COTTESLOE

DATE RECEIVED

14 March 2024



**Floor Plan**

**Upper floor**

- 1 Stair landing
- 2 Office space
- 3 Roof terrace
- 4 Storage / lift provision
- 5 Bathroom
- 6 Spare bedroom
- 7 Courtyard terrace (optional)

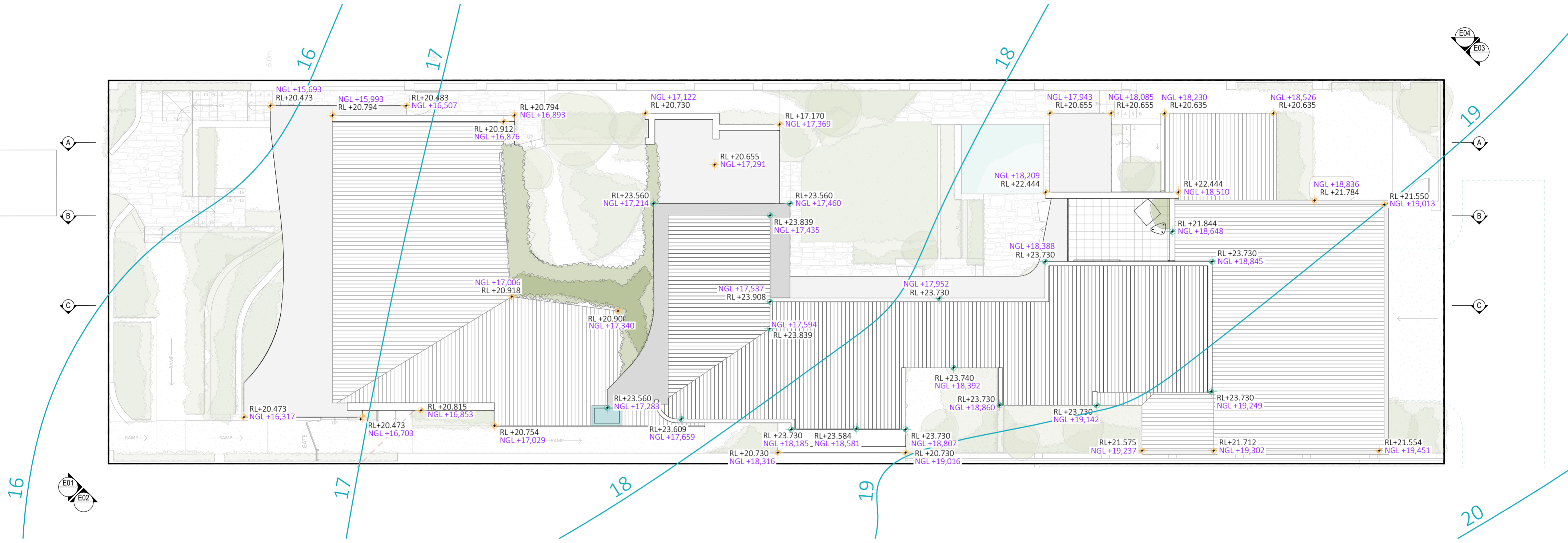
**Areas**

**Upper floor**

House internal	63 m <sup>2</sup>
Roof terrace	38 m <sup>2</sup>
Courtyard terrace	9 m <sup>2</sup>
Roof garden	20 m <sup>2</sup>
<b>Total upper</b>	<b>135 m<sup>2</sup></b>

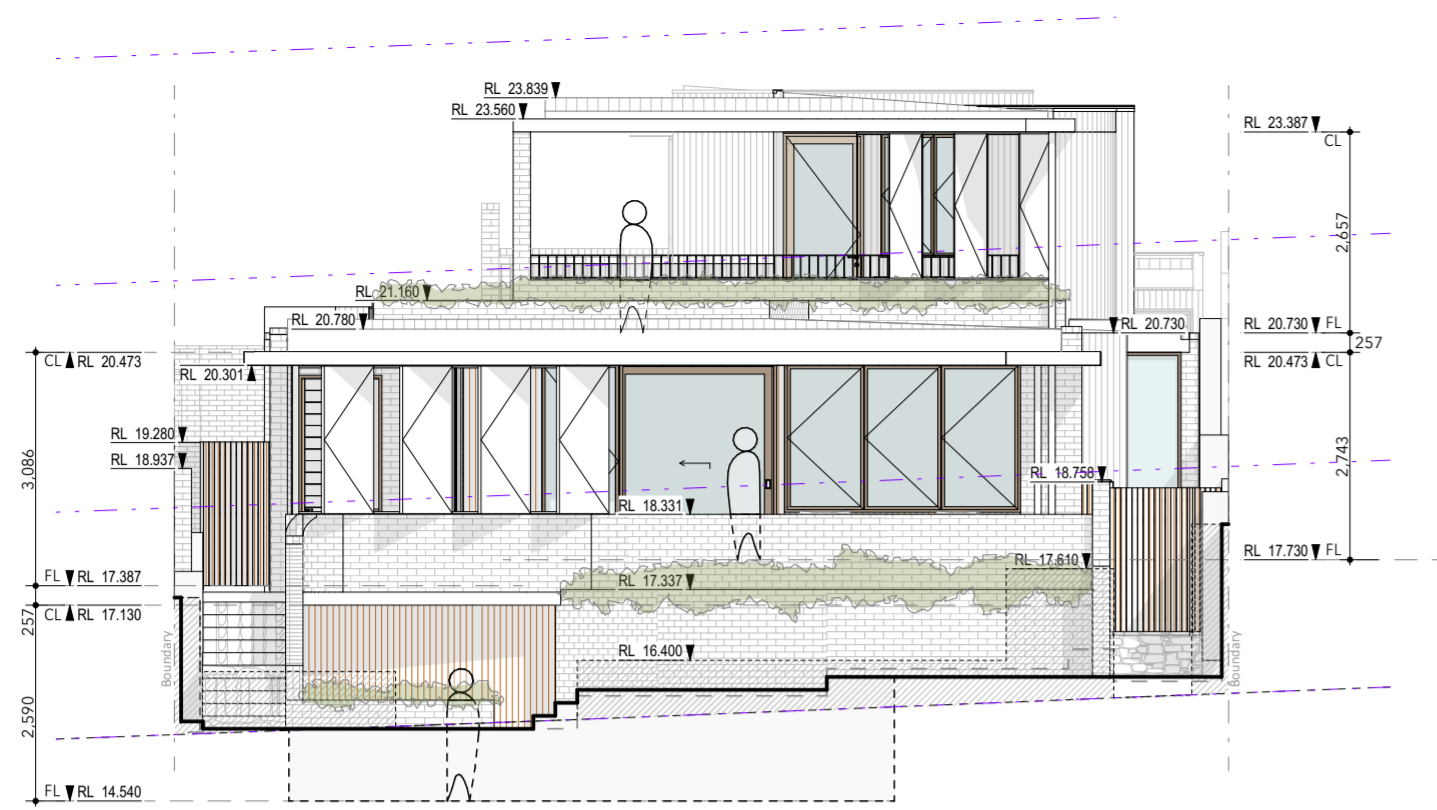
**Roof plan**

- Roof sheeting (Lower)
- Roof sheeting (Upper)
- Concrete roof structure (Lower)
- Concrete roof structure (Upper)
- Parapet wall (Top)
- Skylight
- RL (AFC) - Lower Roof
- RL (AFC) - Upper Roof
- Contour (Watercorp data)



TOWN OF COTTESLOE  
 DATE RECEIVED  
 14 March 2024





Elevation E01  
Scale | 1:100

Note - Refer to sheet 10 for streetscape

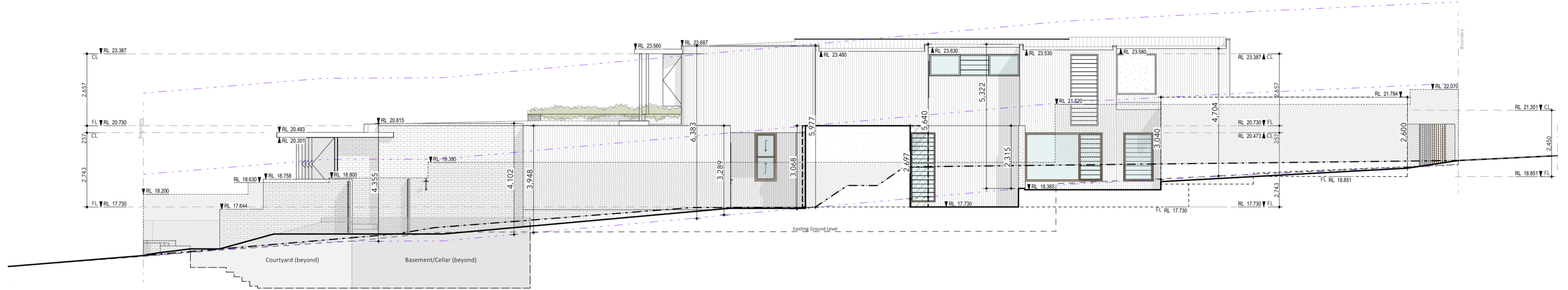
TOWN OF COTTESLOE  
DATE RECEIVED  
14 March 2024

Elevation legend

- Natural GL (Watercorp)
- Existing GL
- Proposed GL
- Neighbours GL
- Retain/ fence (existing)

Material Legend

- Glass Clear
- Glass Obscure
- FB01 - Face brick Bagged (sandstone tone)
- CL01 - Cladding Timber Cladding
- CL02 - Cladding Profiled timber/FC (Black stain/paint)
- PC01 - Powdercoat aluminum Interpon White Satin
- HS01 - Stone paving Crazy paving
- RS01 - Roof sheet REVS profiled metal roof sheet



Elevation E02  
Scale | 1:100

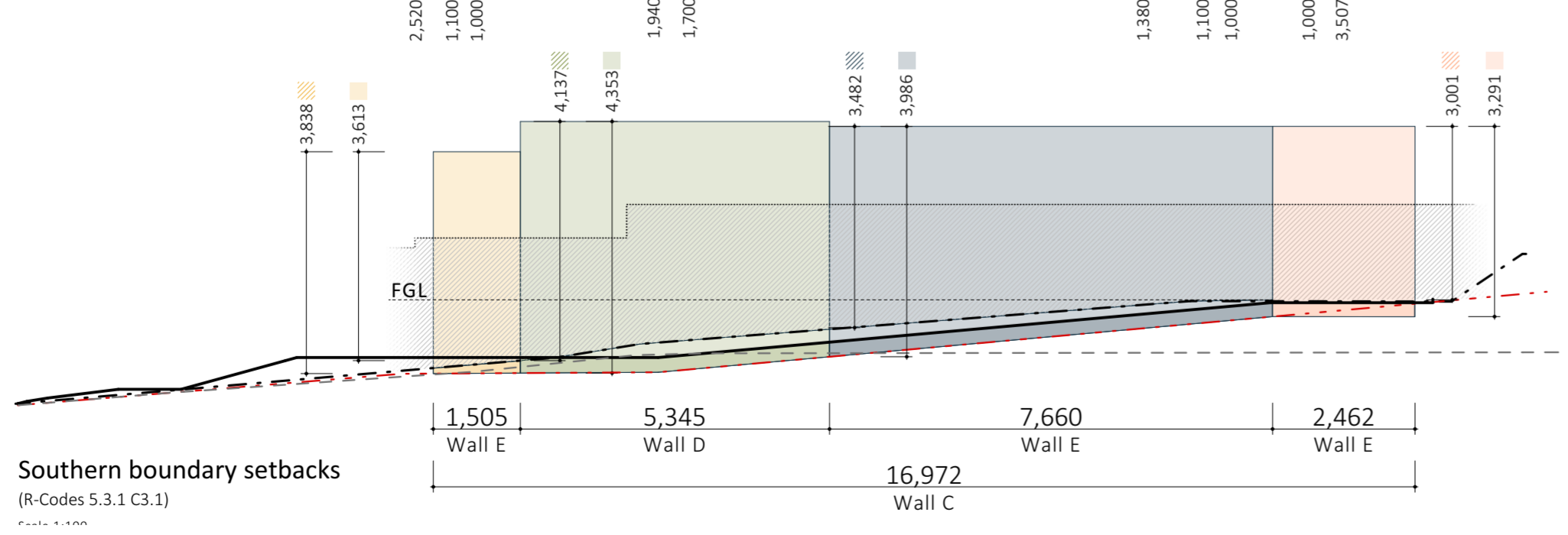
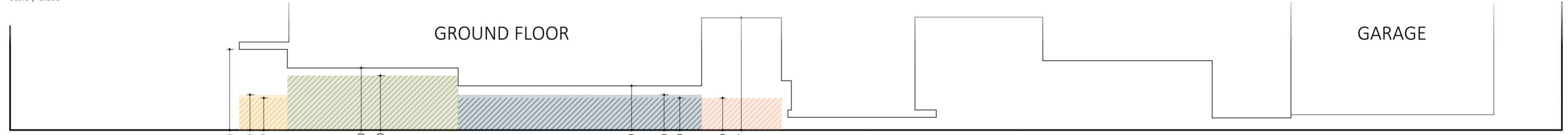
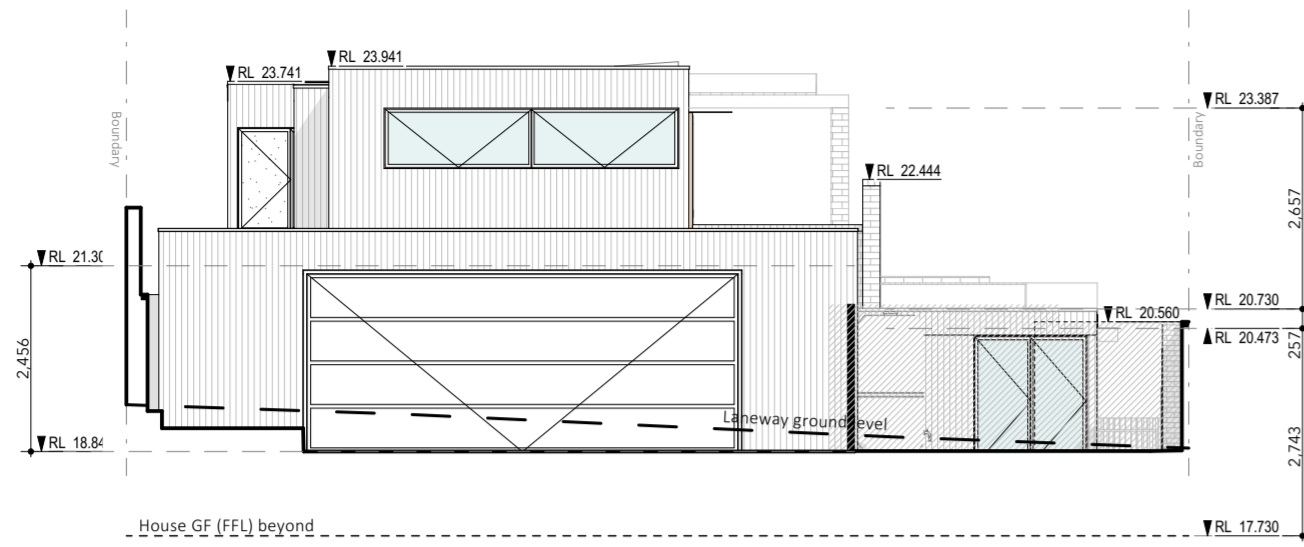


Figure 4b - Portions of walls without major openings

- Scenario 1 - Actual boundary levels
- Reference
  - Wall C No major openings / full wall length >15m
  - Wall D No major openings / uses length of C >17m / height >4.5m Therefore requires setback of 1.6m
  - Wall E No major openings / length >9m / height >3.5m Therefore calculated as separate setback of 1.0m
- Scenario 2 - Extrapolated levels (Watercorp data)
- Reference
  - Wall C No major openings / full wall length <15m
  - Wall D No major openings / uses length of C >17m / height >4.5m Therefore requires setback of 1.6m
  - Wall E No major openings / length >9m / height >4.0m Therefore calculated as separate setback of 1.1m



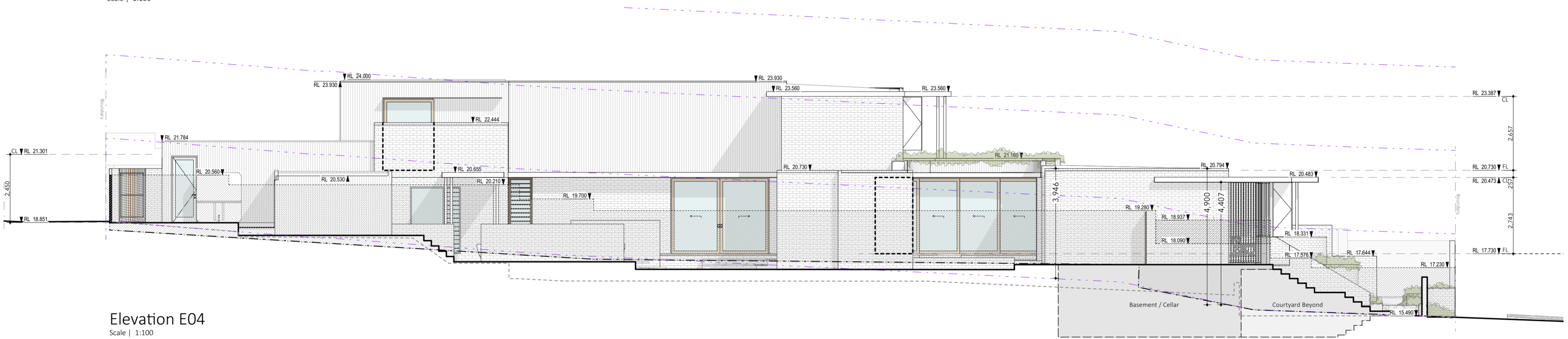
Elevation legend

- Natural GL (Watercorp)
- Existing GL
- Proposed GL
- - - Neighbours GL
- ▨ Retain/ fence (existing)

Material Legend

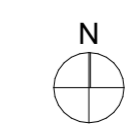
- Glass Clear
- Glass Obscure
- FB01 - Face brick Bagged (sandstone tone)
- CL01 - Cladding Timber Cladding
- CL02 - Cladding Profiled timber/FC (Black stain/paint)
- PC01 - Powdercoat aluminum Interpon White Satin
- HS01 - Stone paving Crazy paving
- RS01 - Roof sheet REV5 profiled metal roof sheet

Elevation E03  
Scale | 1:100



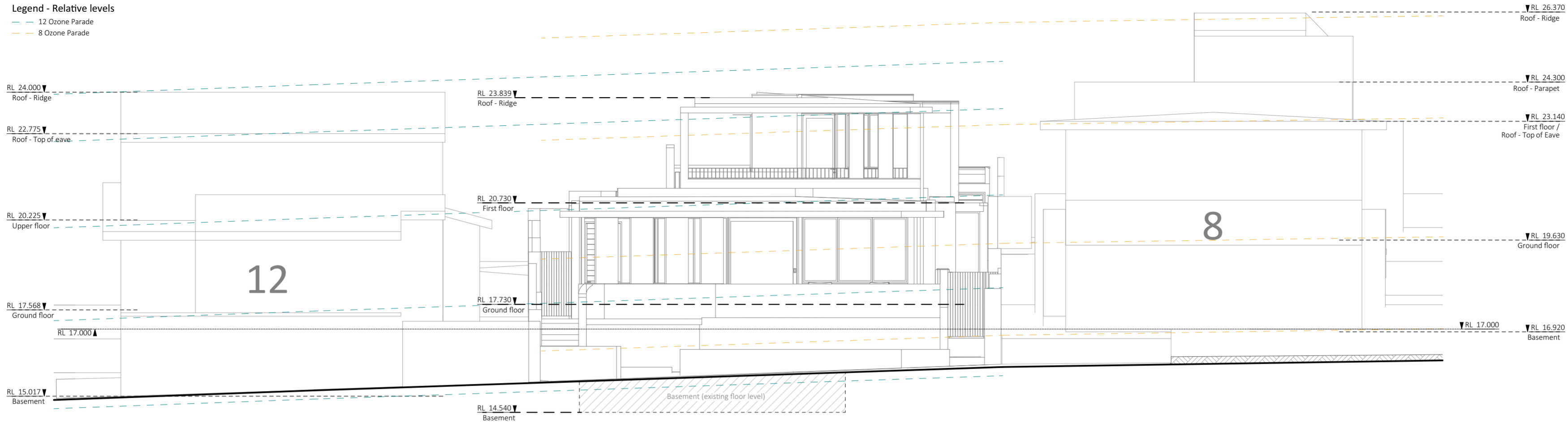
Elevation E04  
Scale | 1:100

TOWN OF COTTESLOE  
DATE RECEIVED  
14 March 2024



**Legend - Relative levels**

- 12 Ozone Parade
- 8 Ozone Parade



Streetscape - Ozone Pde  
Scale | 1:100

**Elevation legend**

- Natural GL (Watercorp)
- Existing GL
- Proposed GL
- Neighbours GL
- Retain/ fence (existing)

**Material Legend**

- Glass Clear
- Glass Obscure
- FB01 - Face brick Bagged (sandstone tone)
- CL01 - Cladding Timber Cladding
- CL02 - Cladding Profiled timber/FC (Black stain/paint)
- PC01 - Powdercoat aluminum Interpon White Satin
- HS01 - Stone paving Crazy paving
- RS01 - Roof sheet REVS profiled metal roof sheet

TOWN OF COTTESLOE  
DATE RECEIVED  
14 March 2024



Streetscape - Image 01.  
Proposed residence



Streetscape - Image 02.  
Transparent overlay (showing existing relative to proposed)



Section A  
Scale | 1:100



Section B  
Scale | 1:100

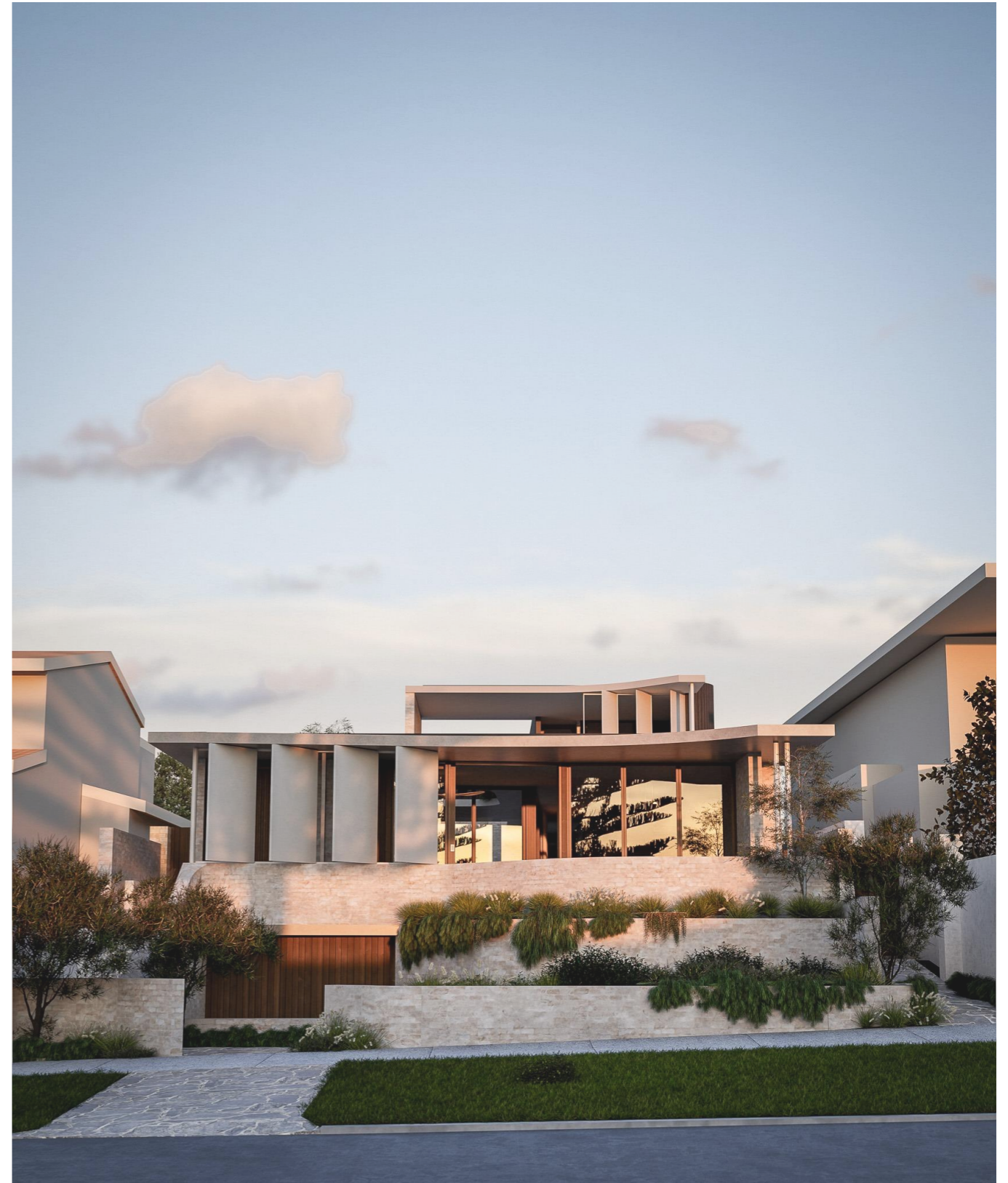
TOWN OF COTTESLOE  
DATE RECEIVED  
14 March 2024



Section C  
Scale | 1:100



Ozone Parade streetscape.  
Early afternoon (Spring)



Ozone Parade streetscape.  
Late afternoon (Summer)



Ozone Parade streetscape.  
Facing south east



Ozone Parade streetscape perspective.  
Facing north east

TOWN OF COTTESLOE

DATE RECEIVED

14 March 2024



Ozone Parade streetscape.

Standing on the edge of the crossover - Early summer evening



Living room entrance.

Walking through from the entry to the living room - Autumn/Winter morning

TOWN OF COTTESLOE

DATE RECEIVED

14 March 2024



Courtyard out from kitchen & living.

Standing on the side entrance steps up to the yard - Early summer morning



Courtyard between Loggia & Pool.

Standing near the pool on the grass - Spring late afternoon.



TOWN OF COTTESLOE

DATE RECEIVED

14 March 2024



Top down over Dave's Cave™ Beer Garden & The RCGC.  
Late summer afternoon.



Dave's Cave™ beer garden.  
Open from 1pm till late every night (Tucked away down in the undercroft below ground level).

TOWN OF COTTESLOE

DATE RECEIVED

14 March 2024



Upstairs balcony.  
Summer early morning.



Upstairs passage view  
Late winter afternoon, Norfolk Pine across the road framed perfectly.



Bedroom view through the house to Rottnest.  
Not bloody bad.