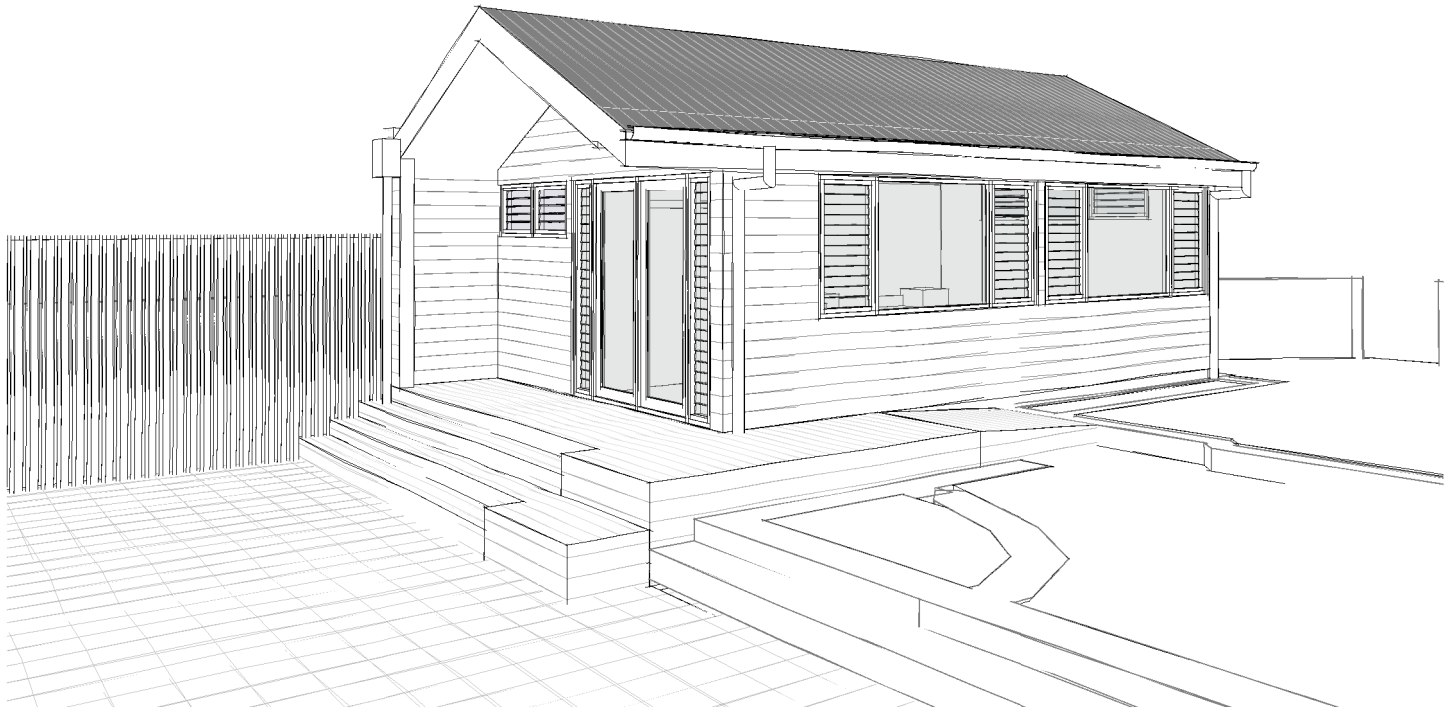


14 BURT ST ANCILLARY DWELLING

Development Application

DRAWING LIST

SHEET NUMBER	SHEET NAME	REVISION	DESCRIPTION	DATE
A_0000	COVER	G	DEVELOPMENT APPLICATION	24/03/25
A_1000	SITE PLAN	G	DEVELOPMENT APPLICATION	24/03/25
A_2000	DEMO PLAN	G	DEVELOPMENT APPLICATION	24/03/25
A_2001	FLOOR PLAN	G	DEVELOPMENT APPLICATION	24/03/25
A_3000	ELEVATIONS	G	DEVELOPMENT APPLICATION	24/03/25



TOWN OF COTTESLOE

DATE RECEIVED

14 April 2025

G	DEVELOPMENT APPLICATION	24/03/25
F	POST MEETING REDESIGN	20/03/25
E	DEVELOPMENT APPLICATION - DRAFT	27/02/25
D	DESIGN REVISION	21/02/25
C	DA - DRAFT	17/02/25

Issue	Revision	Description	Date
-------	----------	-------------	------

MREX
M REX DESIGN
e: megan@mrexdesign.com.au
p: 0437626067
abn: 96 545 708 968

Project Description
14 BURT ST ANCILLARY DWELLING

Client
Kate and Joe Akerman

Consultants:

Drawing Title
COVER

Scale @ A3

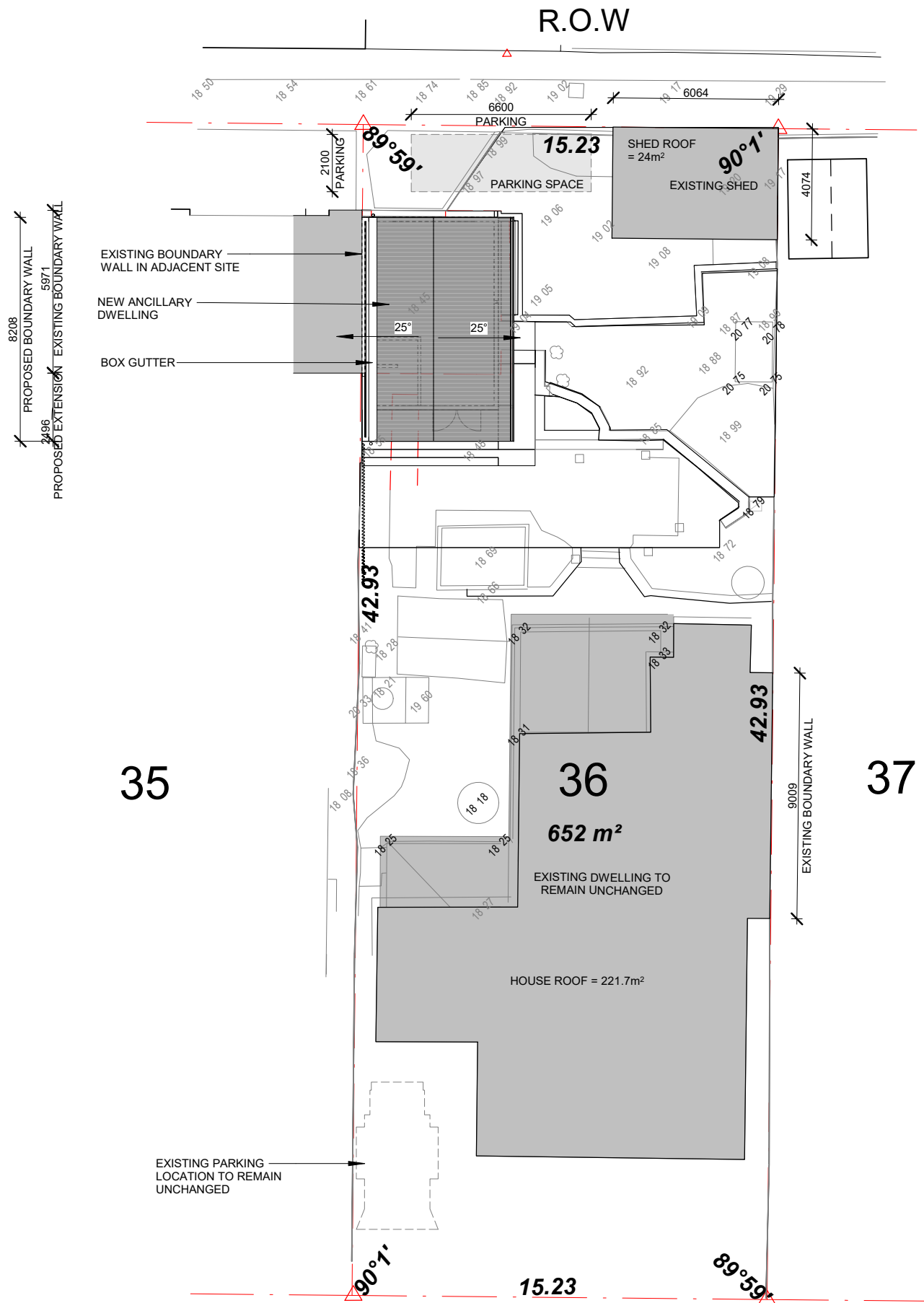
Drawing Number
A_0000

Date
24/03/25

Issue
G

Status
DEVELOPMENT APPLICATION





1 SITE PLAN
1 : 200

PLANNING REQUIREMENTS

OPEN SPACE 50% REQUIREMENT	
LOT SIZE	652.5m ²
EXISTING HOUSE COVERED AREA	221.7m ²
EXISTING SHED	24m ²
PROPOSED ANCILLARY DWELLING	47.0m ²
TOTAL COVERED AREA	292.7m ²
OPEN SPACE (M ²)	359.8m ²
OPEN SPACE (%)	55%

TOWN OF COTTESLOE
DATE RECEIVED
14 April 2025

I	PARKING	14/04/25
H	PARKING LOCATION SHOWN	09/04/25
G	DEVELOPMENT APPLICATION	24/03/25
F	POST MEETING REDESIGN	20/03/25
E	DEVELOPMENT APPLICATION - DRAFT	27/02/25
C	DA - DRAFT	17/02/25
A	FEEDBACK	10/02/25

Issue	Revision	Description	Date
-------	----------	-------------	------

Status
DEVELOPMENT APPLICATION



MREX
M REX DESIGN
e: megan@mrexdesign.com.au
p: 0437626067
abn: 96 545 708 968

Project Description
14 BURT ST ANCILLARY DWELLING
Client
Kate and Joe Akerman



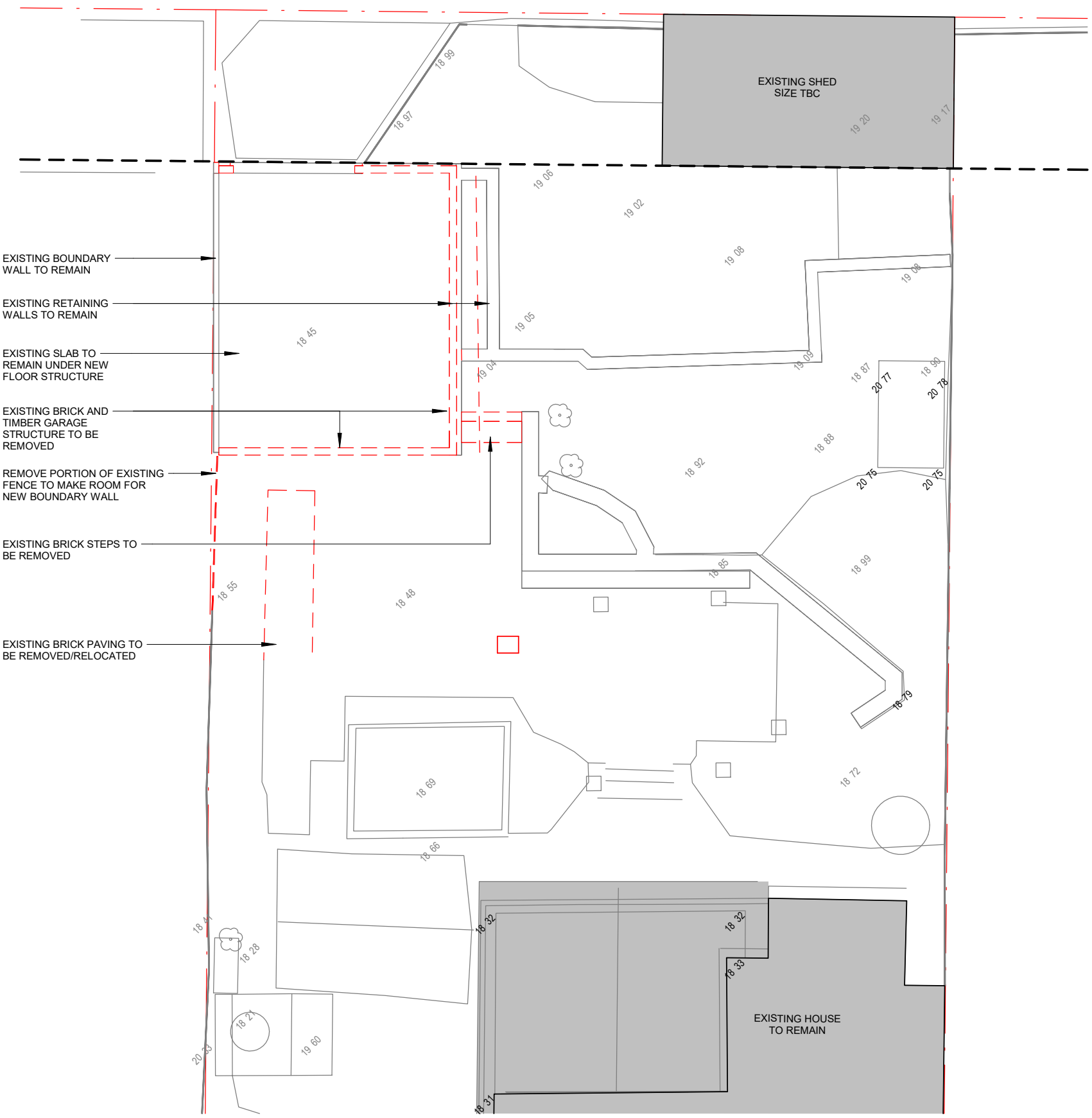
Drawing Title
SITE PLAN

Scale @ A3
1 : 200

Drawing Number
A_1000

Date
14/04/25

Issue
I



DEMOLITION PLAN

--- TO BE DEMOLISHED

— EXISTING TO REMAIN

- EXISTING BOUNDARY WALL TO REMAIN
- EXISTING RETAINING WALLS TO REMAIN
- EXISTING SLAB TO REMAIN UNDER NEW FLOOR STRUCTURE
- EXISTING BRICK AND TIMBER GARAGE STRUCTURE TO BE REMOVED
- REMOVE PORTION OF EXISTING FENCE TO MAKE ROOM FOR NEW BOUNDARY WALL
- EXISTING BRICK STEPS TO BE REMOVED
- EXISTING BRICK PAVING TO BE REMOVED/RELOCATED

TOWN OF COTTESLOE

DATE RECEIVED

14 April 2025

1 DEMOLITION PLAN

1 : 100

G	DEVELOPMENT APPLICATION	24/03/25
F	POST MEETING REDESIGN	20/03/25
E	DEVELOPMENT APPLICATION - DRAFT	27/02/25
C	DA - DRAFT	17/02/25
A	FEEDBACK	10/02/25

Issue	Revision Description	Date
-------	----------------------	------

M R E X

M REX DESIGN
e: megan@mrexdesign.com.au
p: 0437626067
abn: 96 545 708 968

Project Description
14 BURT ST ANCILLARY DWELLING

Client
Kate and Joe Akerman

 **Go2Homes**
On time. Every time.

Drawing Title
DEMO PLAN

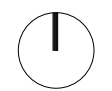
Scale @ A3
1 : 100

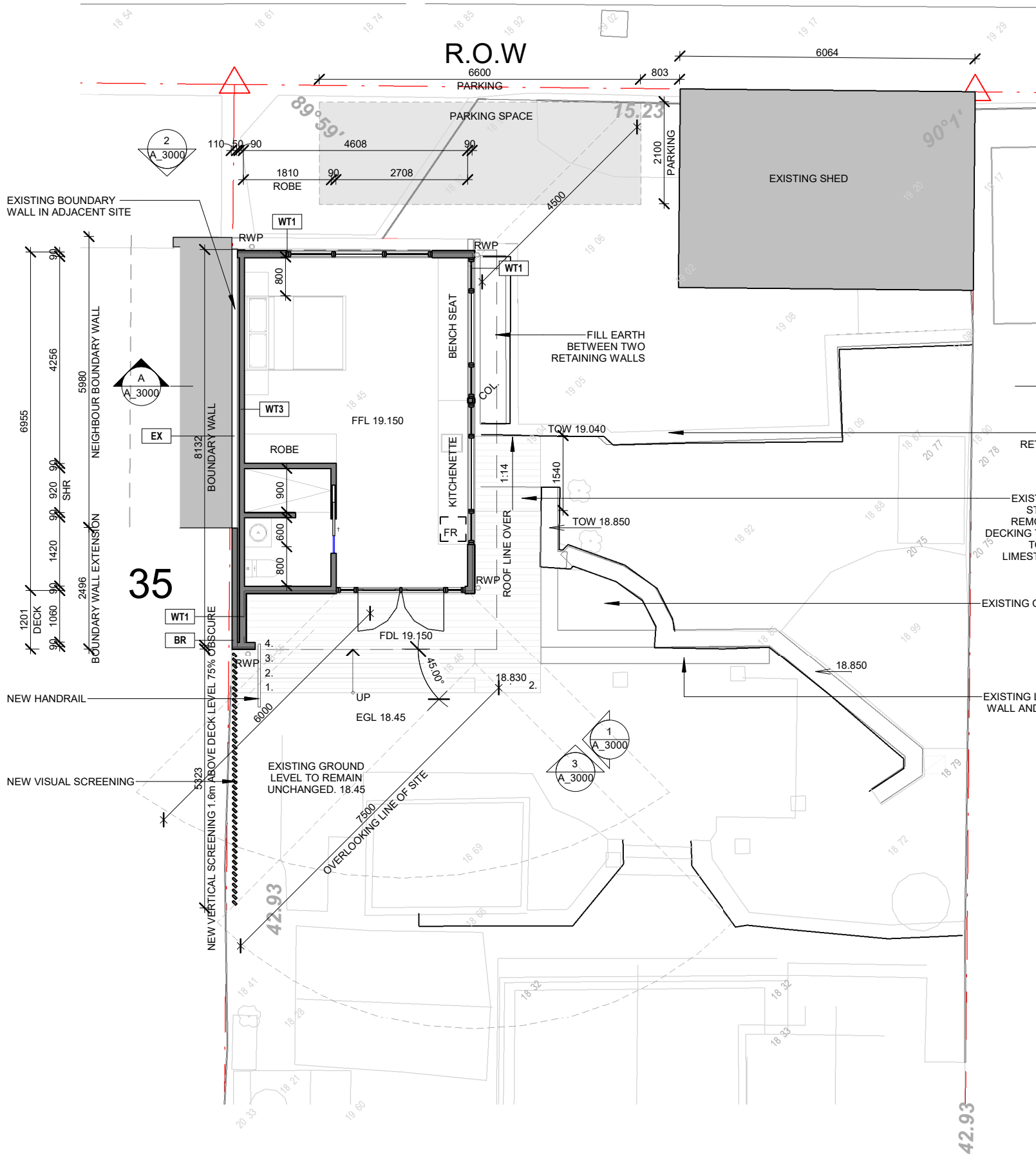
Drawing Number
A_2000

Date
24/03/25

Issue
G

Status
DEVELOPMENT APPLICATION





WALL LEGEND

TIMBER STUD WALL TYPES

- WT1** **EXTERNAL TIMBER STUD WALL - WEATHERBOARD CLAD**
90mm TIMBER STUD FRAME, 13mm PLASTERBOARD INTERNALLY, R2.7 MINERAL WOOL INSULATION, BREATHABLE SARKING, 19mm FIBRE CEMENT BATTENS, WEATHERBOARD CLADDING
- WT2** **EXTERNAL MASONRY WALL**
90mm BRICK LEAF BUILT INTERNALLY ONTO EXISTING BOUNDARY WALL TO FORM DOUBLE BRICK WALL.
- WT3** **INTERNAL TIMBER STUD WALL**
90mm TIMBER STUD FRAME, 13mm PLASTERBOARD EITHER SIDE, 90mm R2.5 MINERAL WOOL INSULATION
- EX** **EXISTING SINGLE LEAF BRICK BOUNDARY WALL**

PLAN LEGEND

- FFL - FINISHED FLOOR LEVEL
FDL - FINISHED DECK LEVEL
TOW - TOP OF WALL
FW - FLOOR WASTE
RWP - DOWN PIPE
COL. - COLUMN. REFER TO STR. ENG. DWGS.
- 00.00 - NATURAL GROUND LEVELS (EXISTING)
- - CONE OF VISION LINES SHOWN GREY DASHED

TOWN OF COTTESLOE

DATE RECEIVED

14 April 2025

I	PARKING	14/04/25
G	DEVELOPMENT APPLICATION	24/03/25
F	POST MEETING REDESIGN	20/03/25
E	DEVELOPMENT APPLICATION - DRAFT	27/02/25
D	DESIGN REVISION	21/02/25
C	DA - DRAFT	17/02/25
B	SCREENING ADDED	12/02/25
A	FEEDBACK	10/02/25

Issue	Revision	Description	Date
-------	----------	-------------	------

Status

DEVELOPMENT APPLICATION

MREX

M REX DESIGN
e: megan@mrexdesign.com.au
p: 0437626067
abn: 96 545 708 968

Project Description
14 BURT ST ANCILLARY DWELLING

Client
Kate and Joe Akerman



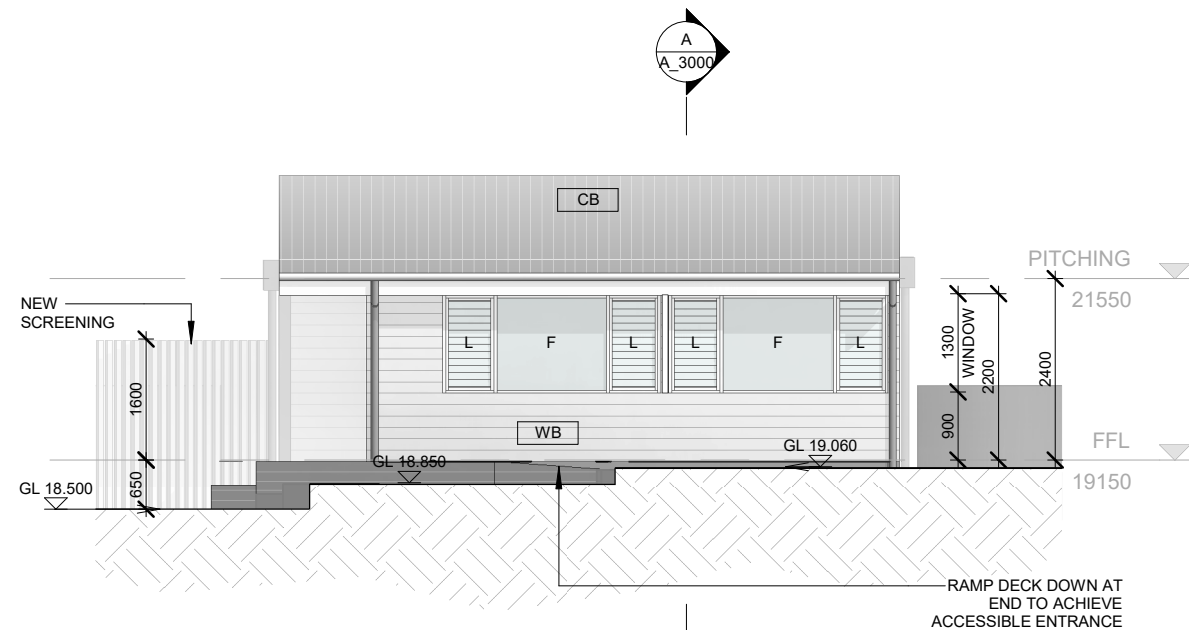
Drawing Title
FLOOR PLAN

Scale @ A3
As indicated

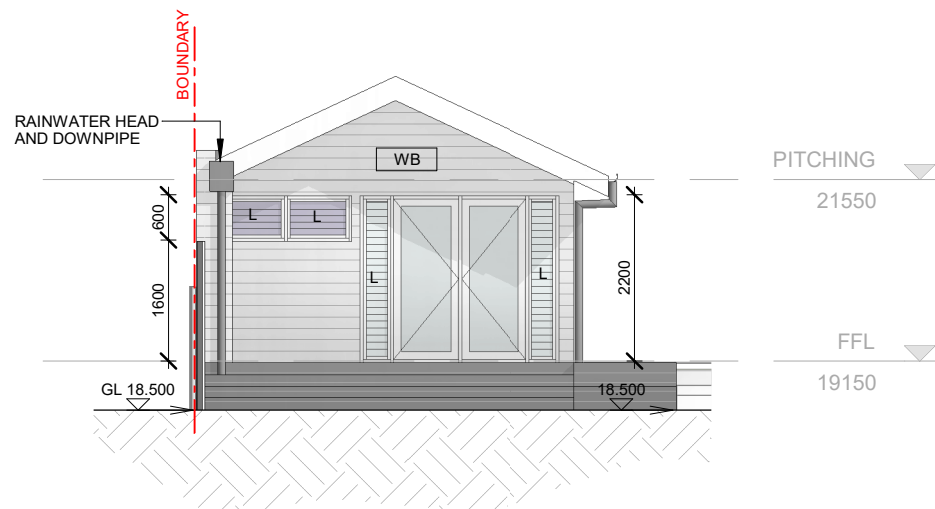
Drawing Number
A_2001

Date
14/04/25

Issue
1

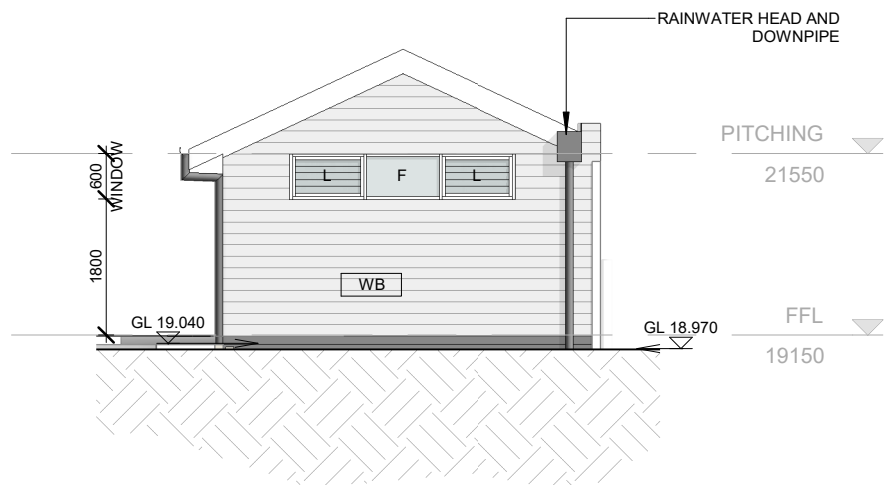


1 EAST ELEVATION
1 : 100

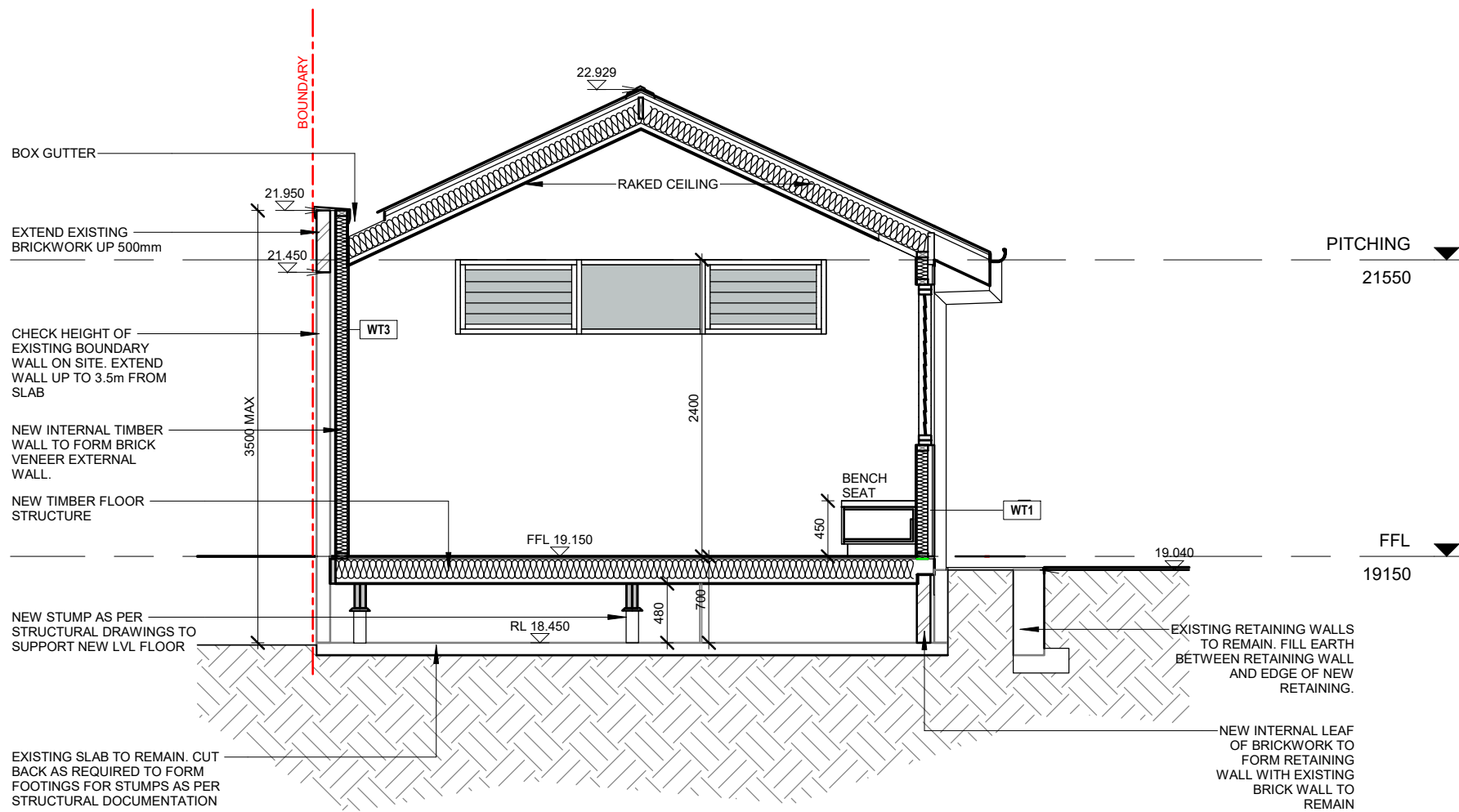


3 SOUTH ELEVATION
1 : 100

TOWN OF COTTESLOE
DATE RECEIVED
14 April 2025



2 NORTH ELEVATION
1 : 100

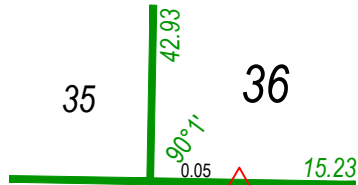


A SECTION A
1 : 50

LEGEND	
AW	AWNING
F	FIXED
L	LOUVRE
SW	SWING
CB	CUSTOM ORB ROOFING
WB	NEW WEATHERBOARD CLADDING AS SCHEDULED
	FROSTED GLASS
	CLEAR GLASS

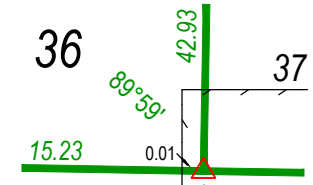
G	DEVELOPMENT APPLICATION	24/03/25
F	POST MEETING REDESIGN	20/03/25
E	DEVELOPMENT APPLICATION - DRAFT	27/02/25
C	DA - DRAFT	17/02/25
B	SCREENING ADDED	12/02/25
A	FEEDBACK	10/02/25

Issue	Revision	Description	Date
-------	----------	-------------	------



BURT STREET

ENLARGEMENT A
NOT TO SCALE



BURT STREET

ENLARGEMENT B
NOT TO SCALE

Regulation 25A Resurvey Certificate

Licensed Surveyors Act 1909
SURVEYORS CERTIFICATE

I, Dean Diamond, Licensed Surveyor, certify that on the 25th day of January 2024, I re-established the boundaries of Lot 36 on P442 as shown on this sketch and that the survey was performed in accordance with the provisions of the Licensed Surveyors (Guidance of Surveyors) Regulations 1961 and the Licensed Surveyors (Transfer of Land Act 1893) Regulations 1961

05/02/2024

Date

Licensed Surveyor

SYMBOL LEGEND

- NATURAL SURFACE LEVEL
- FLOOR LEVEL
- BITUMEN LEVEL
- TOP OF WALL
- POWER POINT
- TAP
- KOPPA LOG BOLLARD
- SMALL TREE
- TREE AT SCALE

LINETYPE LEGEND

- BOUNDARY
- CONTOUR (INTERVALS OF 0.25m)
- BUILDING/ STRUCTURE
- ROOF/ EAVE LINE
- DOOR
- WINDOW
- WALL
- FENCE
- BRICK PAVING
- VEGETATION LINE
- GARDEN BED
- EDGE OF BITUMEN
- SEWER PIPE (WATER CORPORATION)

SEWER DATA SHOWN ON THIS PLAN IS DERIVED FROM SUPPLIED WATER CORPORATION INFORMATION SHEETS AND IS COMPILED AS BEST-FIT MODEL. BROWN MCALLISTER SURVEYORS CANNOT GUARANTEE THE ACCURACY OF THIS DATA.

SEE BROWN MCALLISTER SURVEYORS
DRAWING 23544-1F FOR DETAILED SITE LEVELS

0	APPROVED & ISSUED TO CLIENT	01/02/2024	J.HUMPHREYS
No.	DETAILS	DATE	CHECKED

REVISIONS



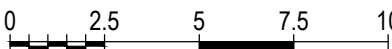
Brown McAllister Surveyors
Licensed Surveyors | Land Development & Strata Consultants | Engineering Surveyors

Email : admin@brownmcallister.com.au

Tel: (08) 9386 9688

Address: 44 Hardey Road, Belmont, Western Australia, 6104

SCALE
1 : 200



All distances in metres unless stated otherwise

THE BOUNDARIES WERE NOT RE-ESTABLISHED AS PART OF THIS SURVEY THEREFORE THIS PLAN DOES NOT GUARANTEE THEIR ACCURACY
EXISTING BOUNDARY DIMENSIONS AND LOT AREAS TAKEN FROM LANDGATE RECORD

FIELD INSPECTION IS RECOMMENDED FOR LOCATION OF SERVICES PRIOR TO ANY EXCAVATION
ALL AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY AND EXAMINATION

BOUNDARY RE-ESTABLISHMENT SURVEY OF
No 14 BURT STREET, COTTESLOE
PORTION OF LOT 36 ON PLAN 442

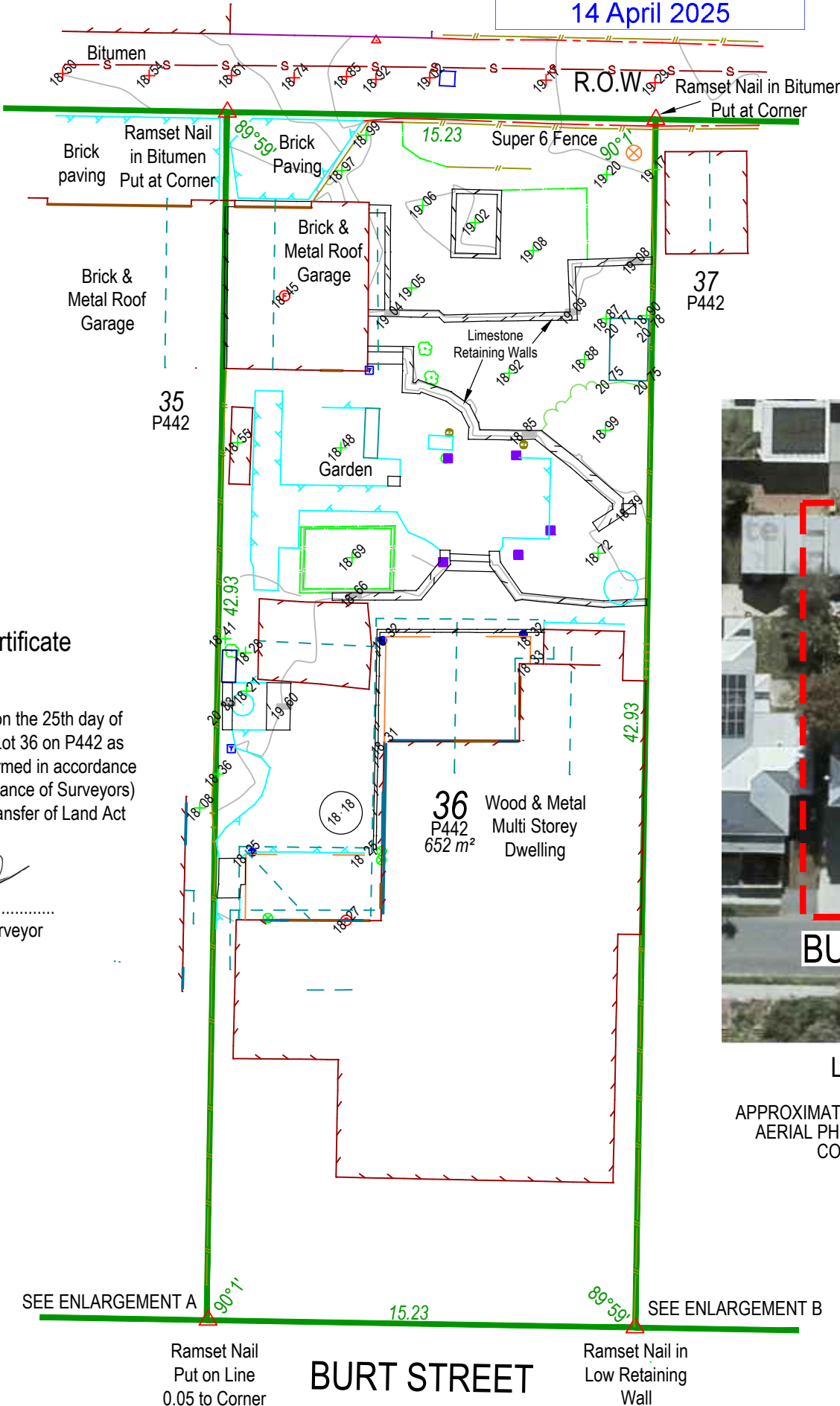
Client

KATE AKERMAN AND JOE CULLITY

DATUM
HORIZONTAL - PCG 94
VERTICAL - AHD

COPYRIGHT OF ALL THIS PLAN IS RESERVED BY BROWN MCALLISTER SURVEYORS AND REMAINS THE PROPERTY OF THE AFOREMENTIONED AND SHALL BE RETURNED UPON REQUEST. USE OF ALL OR PART OF THIS PLAN IS RESTRICTED WITHOUT PRIOR WRITTEN PERMISSION.

SHEET	A3
SURVEYED	D.DIAMOND - 25/01/2024
FIELD NOTES	
DRAWN	J.HUMPHREYS - 01/02/2024
CHECKED	
REFERENCE	22524-2R



LOCATION PLAN

NOT TO SCALE
APPROXIMATE EXTENTS OF SUBJECT SURVEY
AERIAL PHOTOGRAPHY SEPTEMBER 2023
COURTESY OF LANDGATE