

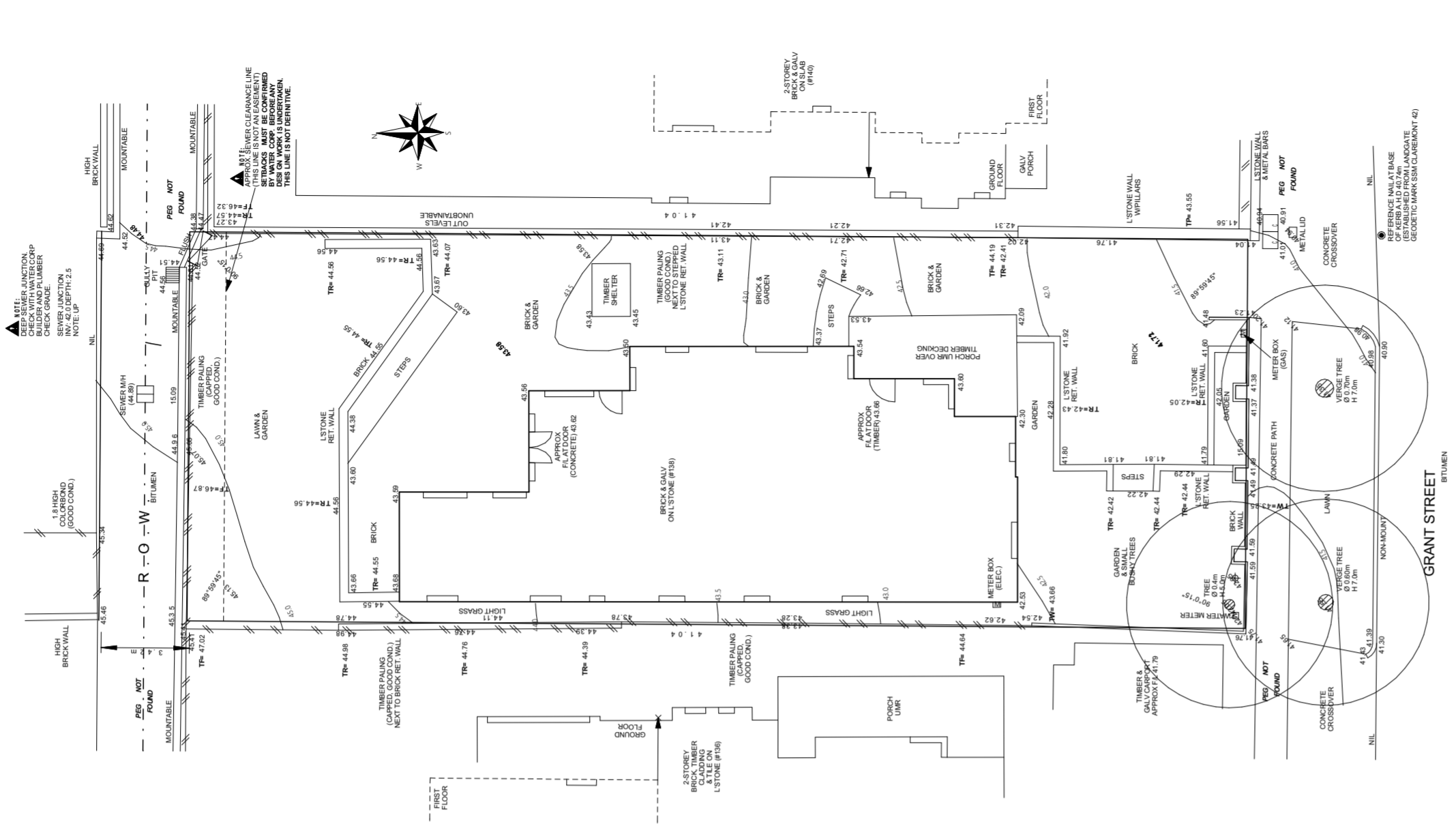
COTTAGE SURVEYS
 0.000 m
 1:100

CLIENT: Evolve Builders
PROJECT: Alterations + Additions
DATE: 28 Feb 23
SCALE: 1:100

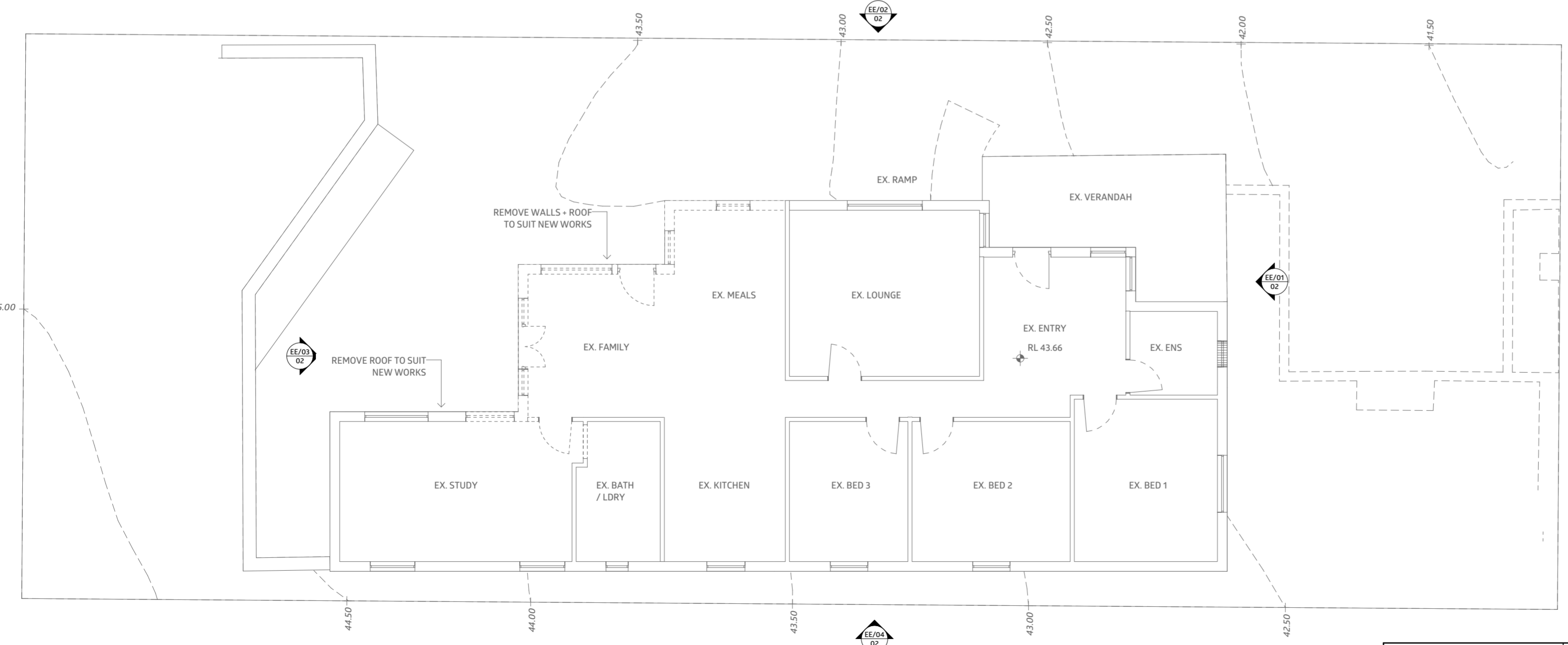
PROPERTY: 138 Grant Street, Claremont, NSW
OWNER: Evolve Builders
DATE RECEIVED: 14 March 2024

VEGETATION: Good
SOIL: Good
WATER: No
SEWER: No
OVERHEAD POWER: No

NOTES:
 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
 2. THE CLIENT HAS ADVISED THAT ALL DIMENSIONS ARE CORRECT.
 3. THE CLIENT HAS ADVISED THAT ALL DIMENSIONS ARE CORRECT.
 4. THE CLIENT HAS ADVISED THAT ALL DIMENSIONS ARE CORRECT.



SITE-SURVEY
 SCALE 1:200



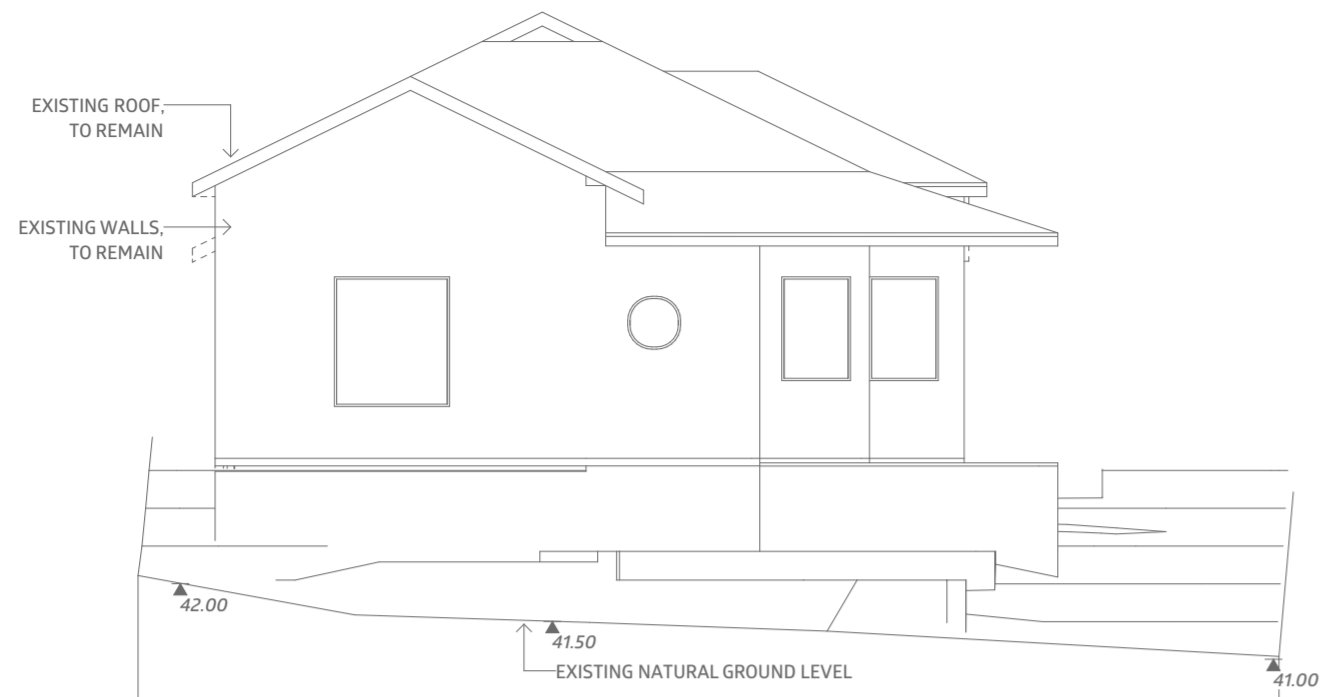
TOWN OF COTTESLOE
 DATE RECEIVED
 14 March 2024

PLAN-EXISTING/DEMOLITION-GFL
 1:100

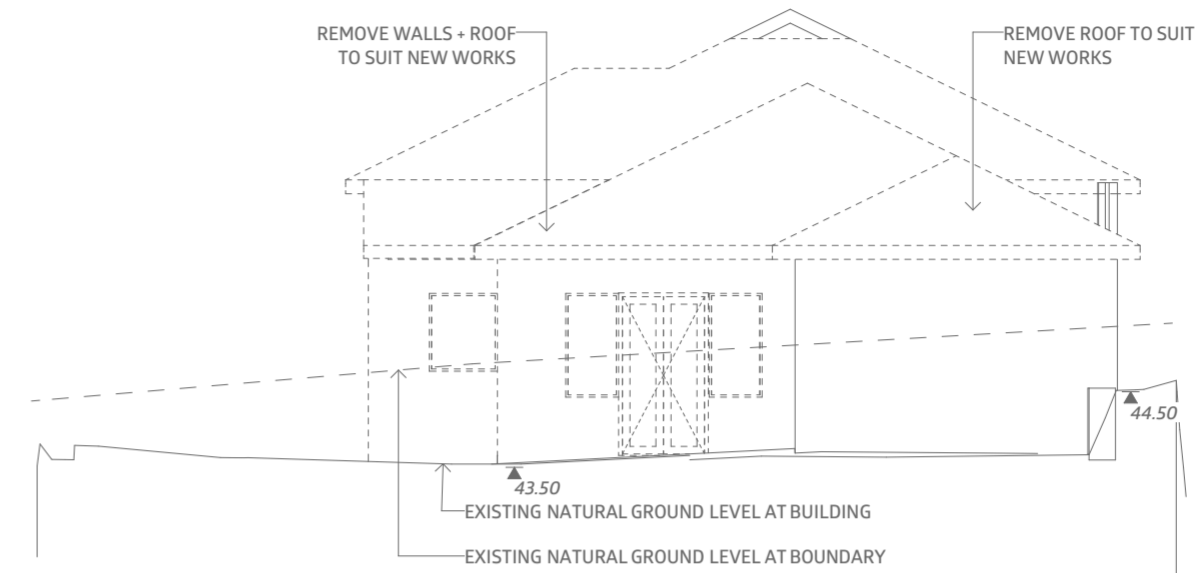
EXISTING SURVEY + FLOOR PLAN

EVOLVE BUILDERS
 ALTERATIONS + ADDITIONS
 (Lot 24) #138 Grant Street, CLAREMONT
 FOR Evolve Builders

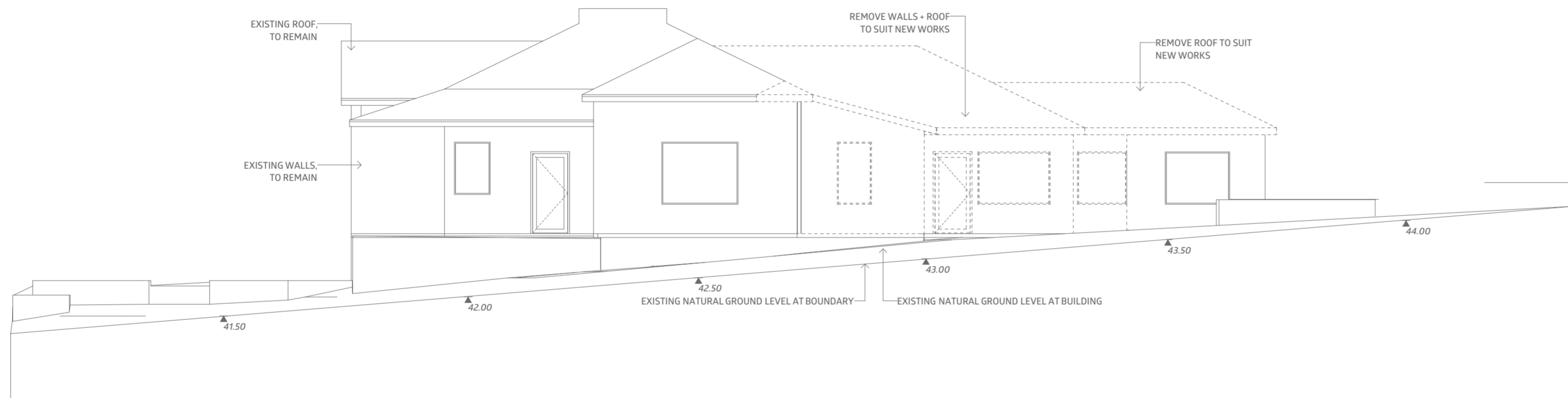
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 print to scale @A2 AC27 13/03/2024 rev 03PL PLANNING SUBMISSION 1 OF 5



EE/01 EX. ELEVATION-SOUTH
1:100



EE/03 EX. ELEVATION-NORTH
1:100



EE/02 EX. ELEVATION-EAST
1:100



EE/04 EX. ELEVATION-WEST
1:100

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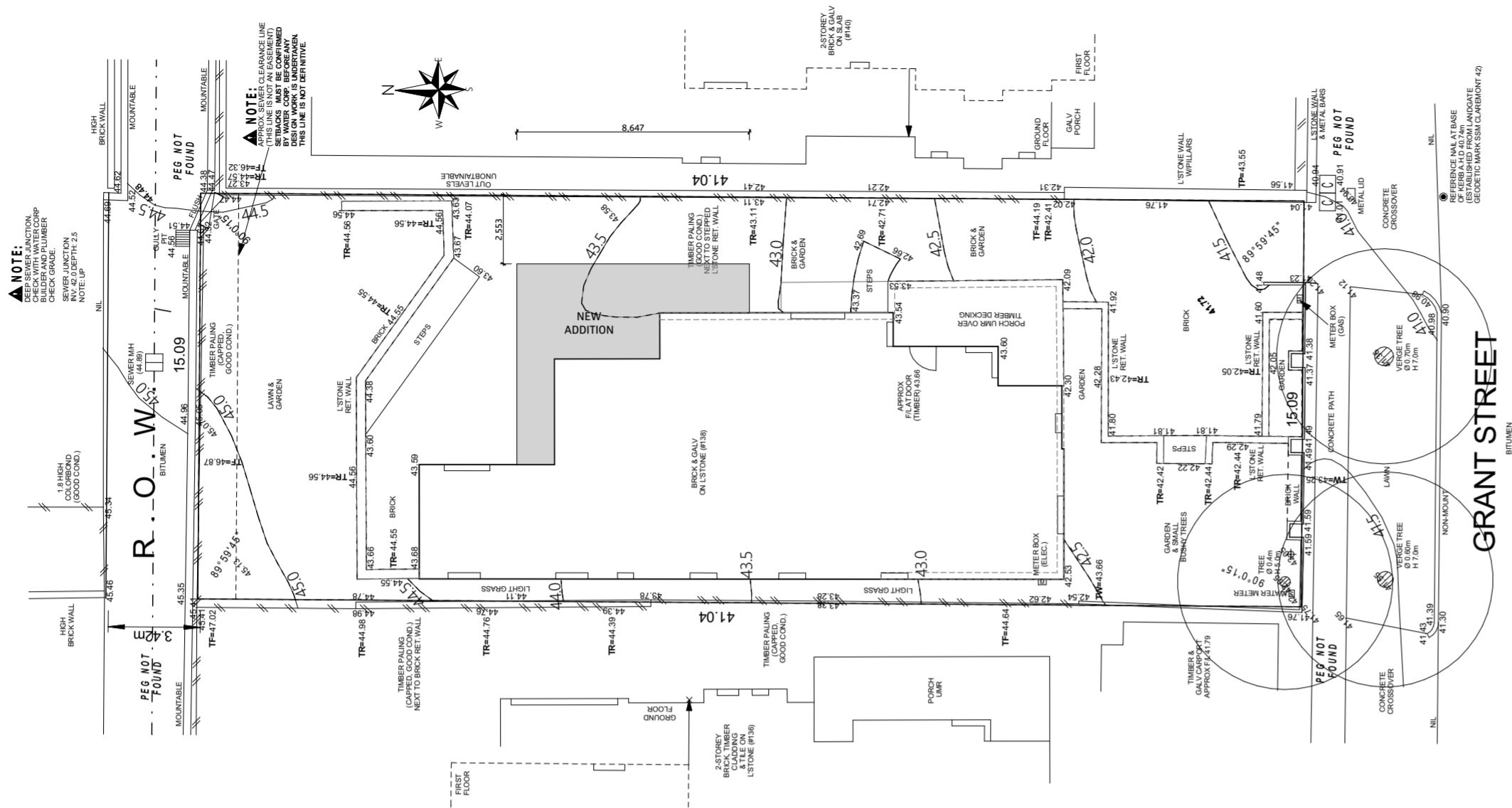
ALTERATIONS + ADDITIONS
(Lot 24) #138 Grant Street, CLAREMONT
FOR Evolve Builders

print to scale @A2 AC27 13/03/2024 rev 03PL PLANNING SUBMISSION

EXISTING ELEVATIONS

PL2

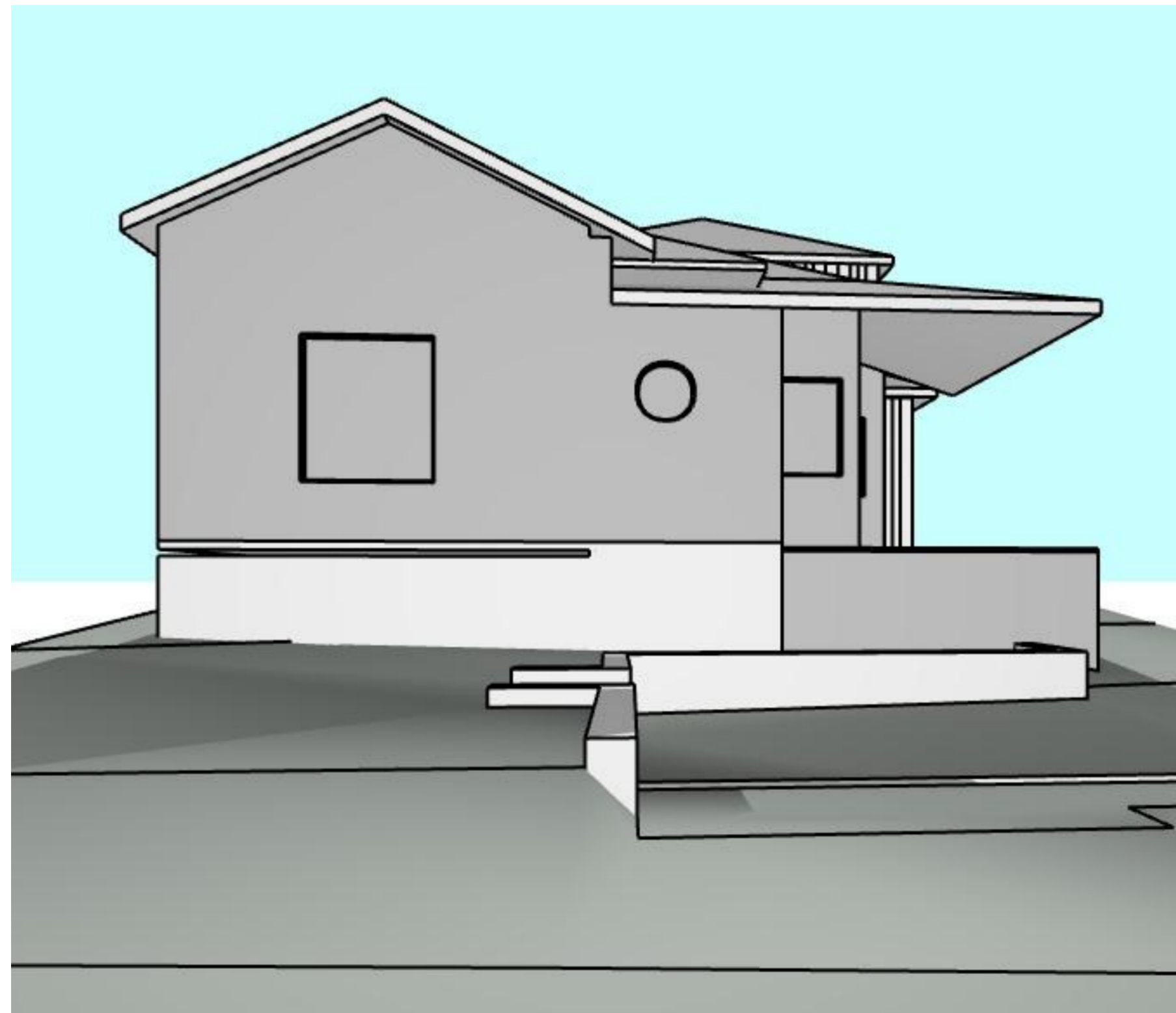
2 OF 5



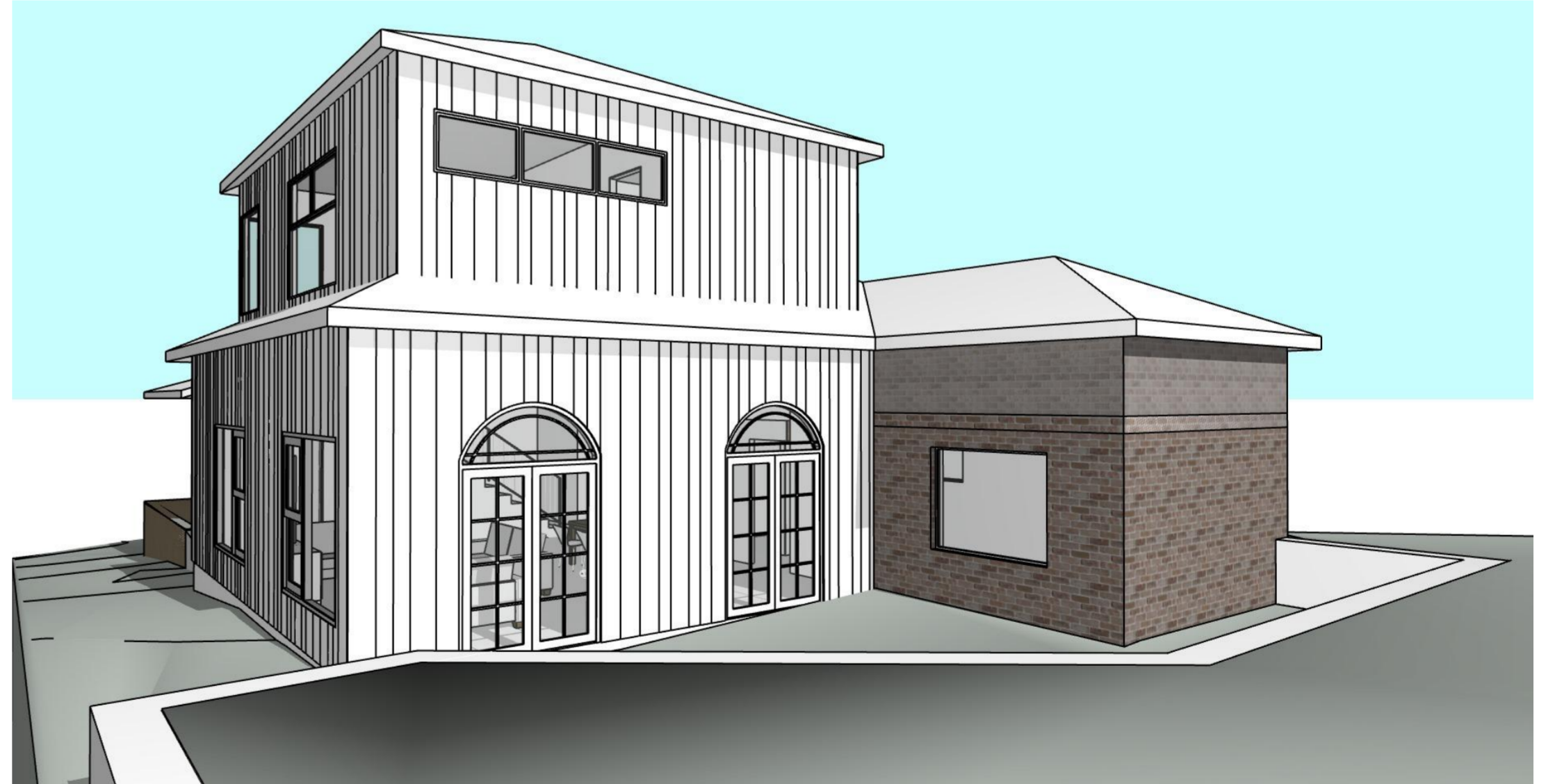
DRAINAGE:

1. DRAINAGE SYSTEMS SHALL BE IN ACCORDANCE WITH NCC 2019 AMDT.1VOL2 PART 3.1.3.
2. SURFACE WATER SHALL BE DIVERTED AWAY FROM ANY EXISTING STRUCTURE ON THE PROPERTY OR ANY ADJOINING ALLOTMENT IN ACCORDANCE WITH NCC 2019 AMDT.1VOL2 PART 3.1.3.3.
3. ALFRESCO FINISHED FLOOR AND EXTERNAL PATHS SHALL BE AT LEAST 50mm BELOW MAIN FFL, AND LAID TO FALL AWAY FROM THE BUILDING AT LEAST 25mm OVER THE FIRST METRE. LEVELS SHALL BE GRADED TO DIRECT SURFACE WATER AWAY FROM THE BUILDING, AND AWAY FROM NEIGHBOURING PROPERTIES.
4. ROOF RUN-OFF TO BE CONTAINED ONSITE AND DISPOSED OF TO COUNCILS SATISFACTION.
5. STORMWATER ATTENUATION IS TO COMPLY WITH LOCAL AUTHORITY.

PLAN-SITE
SCALE 1:200



VIEW FROM STREET - LARGELY UNAFFECTED

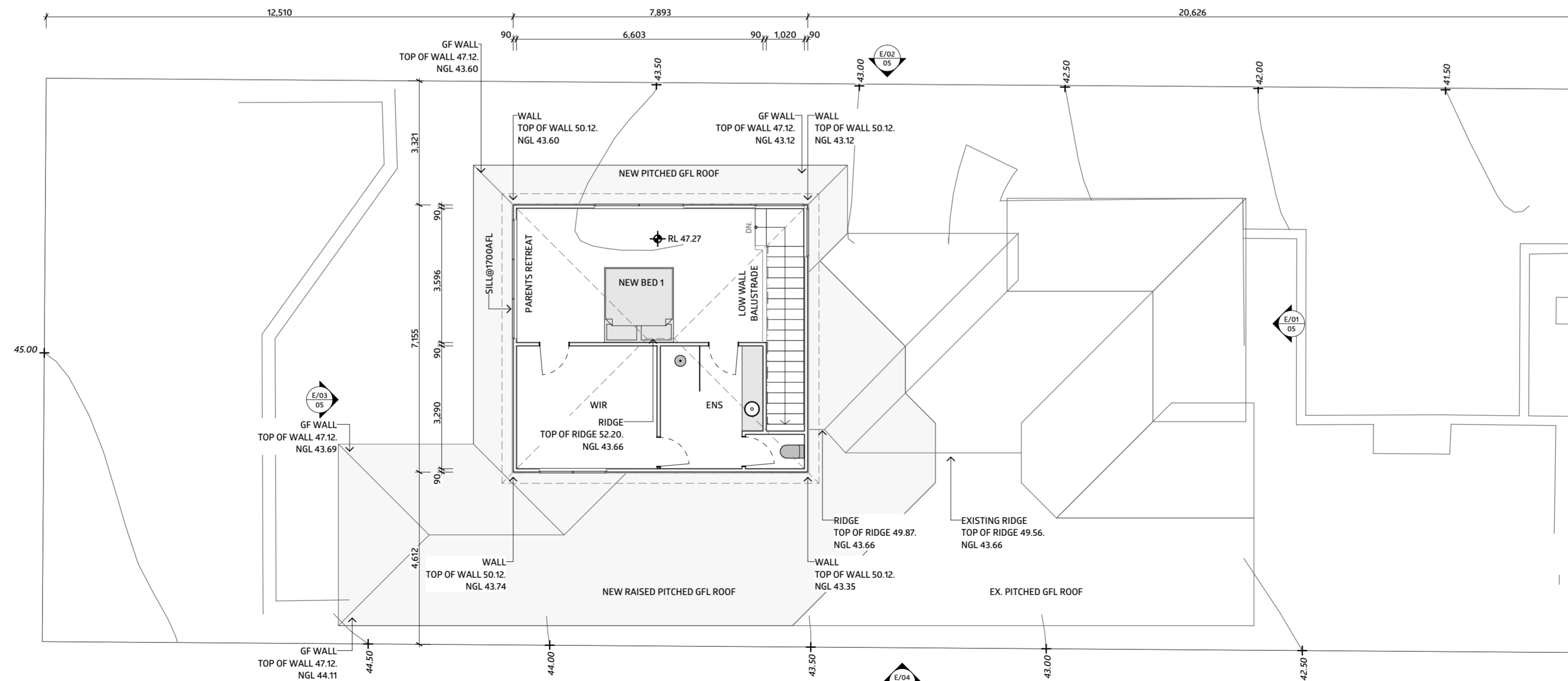
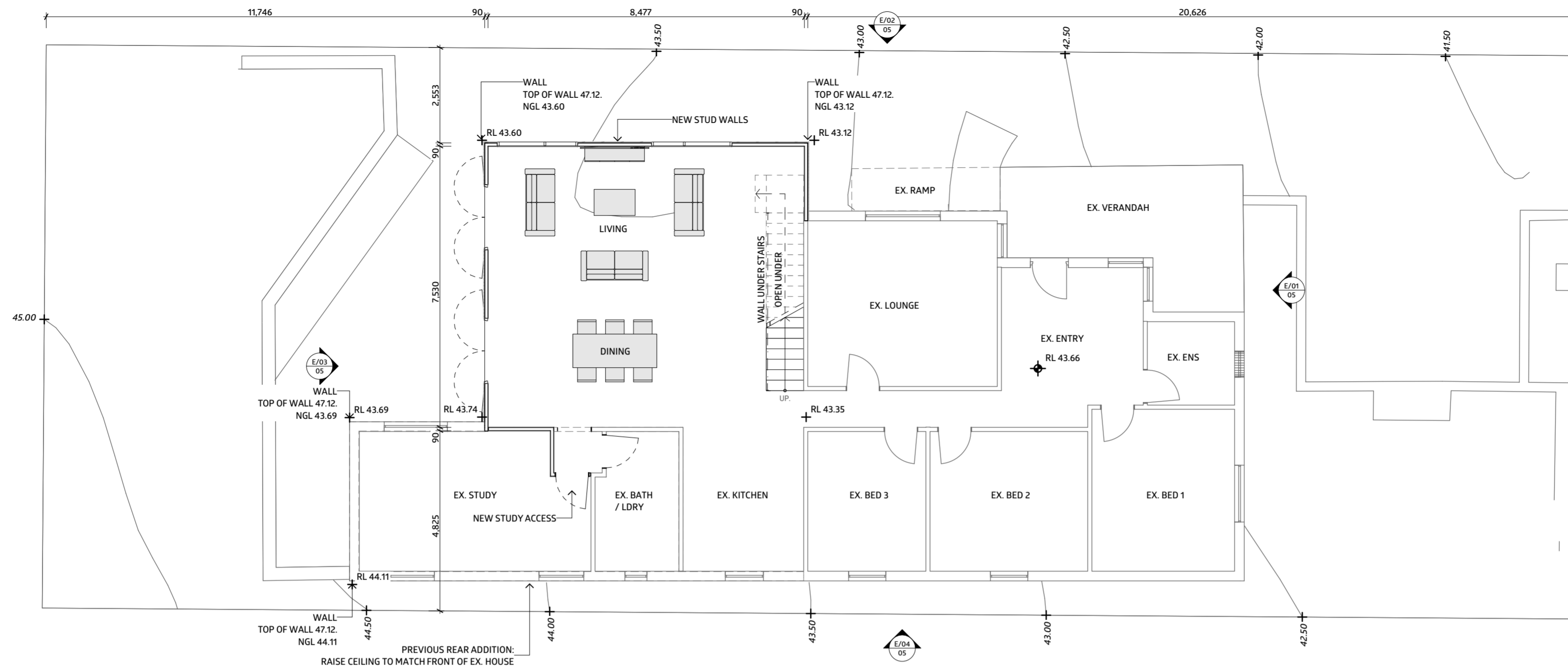


VIEW FROM BACK YARD

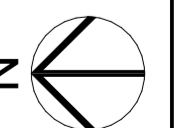
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14 March 2024

NOTE: PERSPECTIVES + ELEVATIONS ARE FOR CLARITY PURPOSES ONLY. ALL MATERIALS, COLOURS AND FINISHES ARE AS ADDENDA.

| | | |
|--|---|--------|
| | ALTERATIONS + ADDITIONS | |
| | (Lot 24) #138 Grant Street, CLAREMONT | |
| FOR Evolve Builders | PROPOSED SITE PLAN | PL3 |
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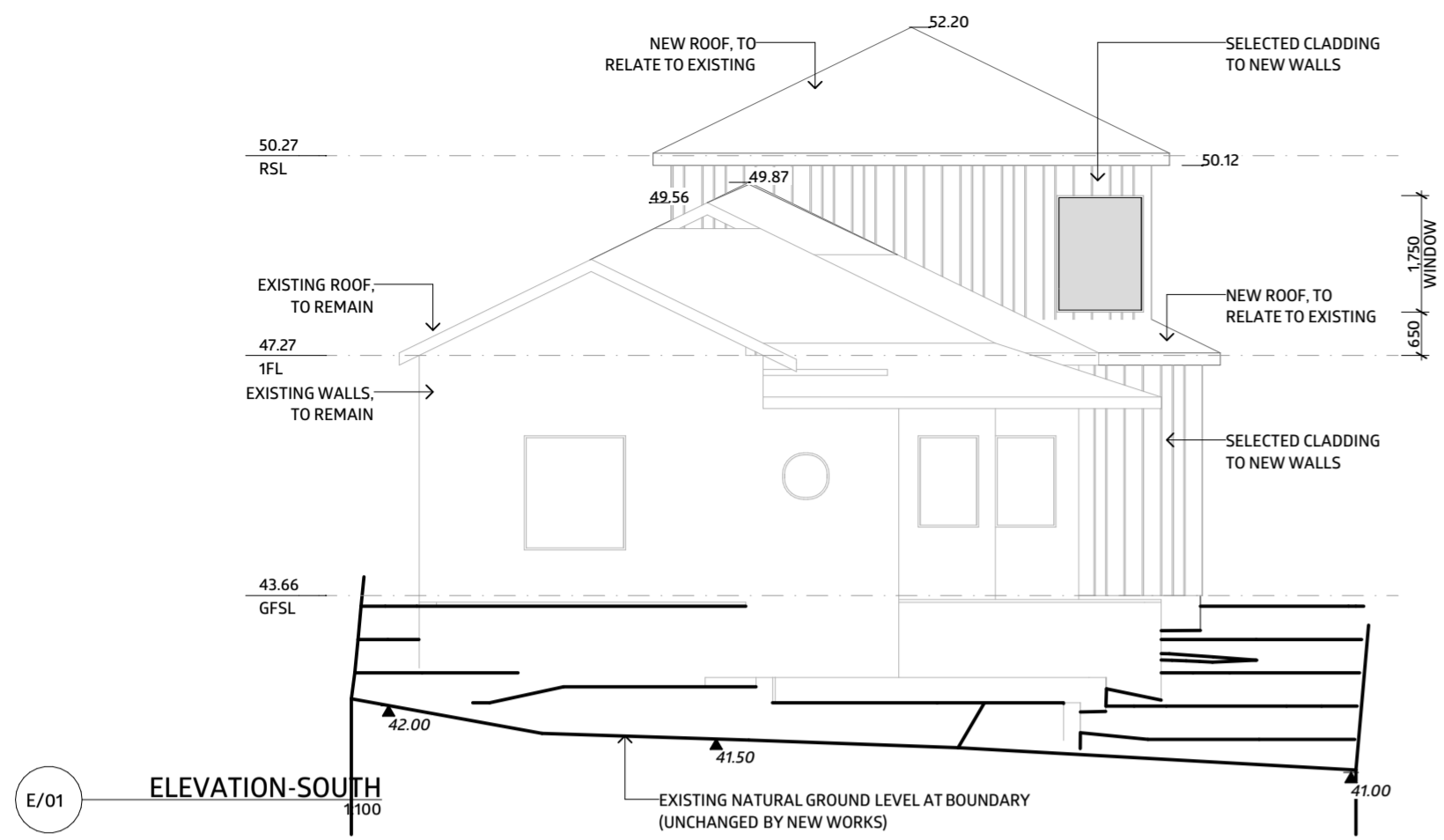


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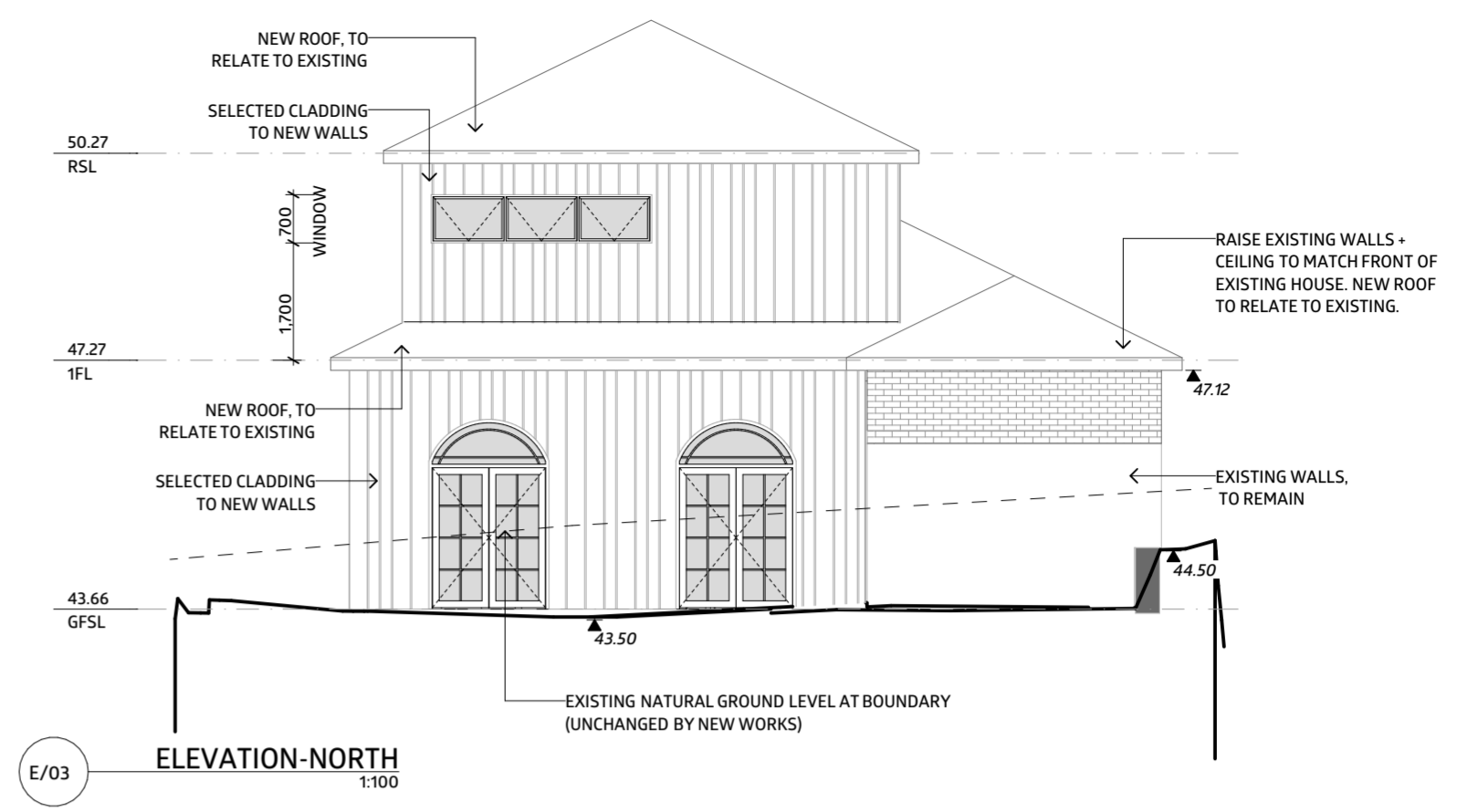


PROPOSED PLANS

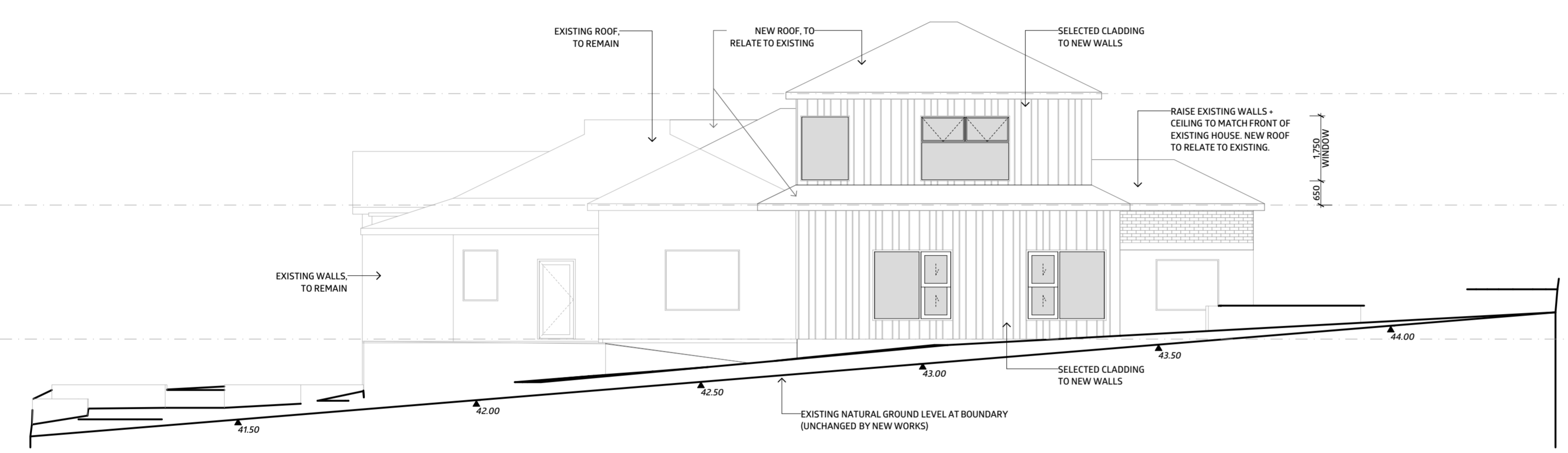
| | | |
|--|---------------------------------------|------------------------------|
| | ALTERATIONS + ADDITIONS | PL4 |
| | (Lot 24) #138 Grant Street, CLAREMONT | |
| FOR Evolve Builders | print to scale @A2 | AC27 |
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| | | 4 OF 5 |



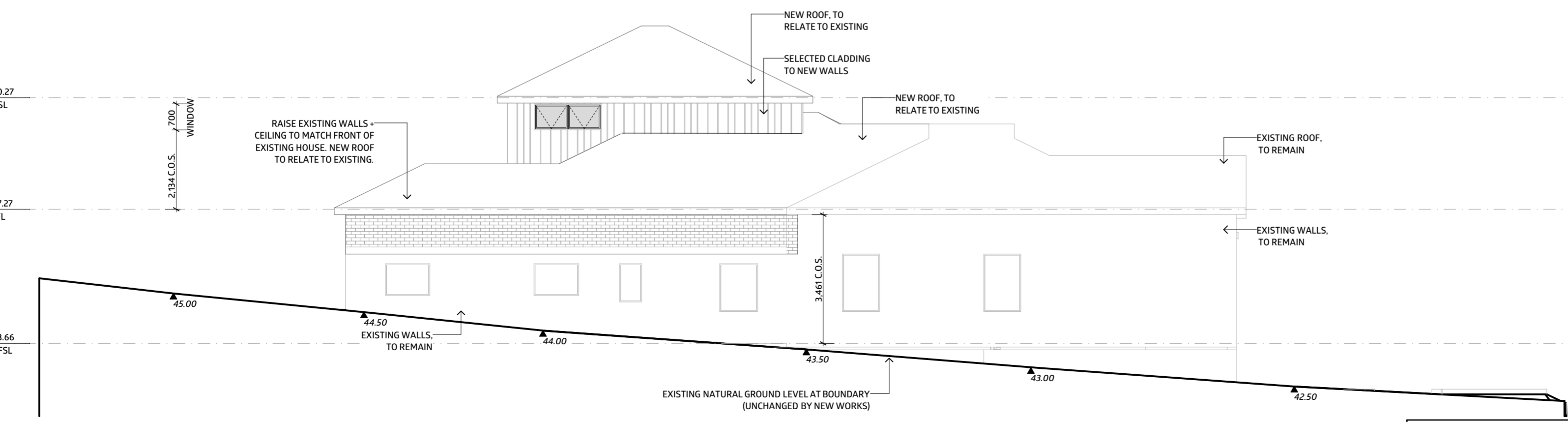
E/01 ELEVATION-SOUTH
1:100



E/03 ELEVATION-NORTH
1:100



E/02 ELEVATION-EAST
1:100

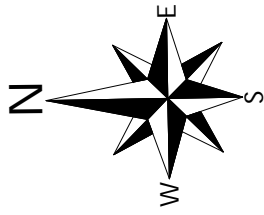


E/04 ELEVATION-WEST
1:100

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PROPOSED ELEVATIONS

| | | |
|--|---------------------------------------|------------------------------|
| | ALTERATIONS + ADDITIONS | PL5 |
| | (Lot 24) #138 Grant Street, CLAREMONT | |
| FOR Evolve Builders | print to scale @A2 | AC27 |
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| | | 5 OF 5 |



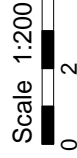
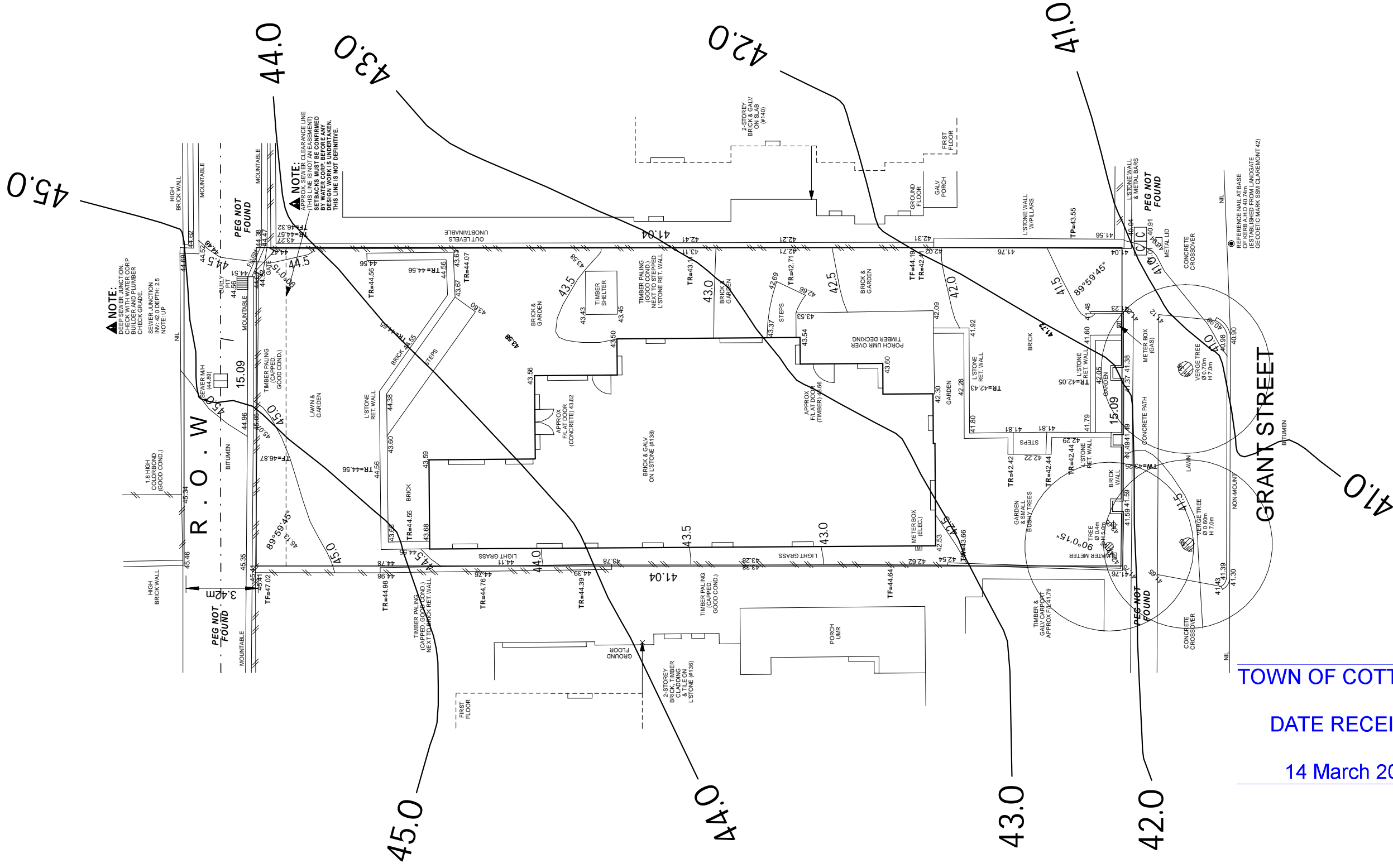
NOTE:

Thick Contour Lines Are Assumed Approximate Natural Ground Levels Based on Interpolation of contours From Water Corporation Esinet

NOTE:
DEEP SEWER JUNCTION.
CHECK WITH WATER CORP.
CHECK GRADE WITH LUMBER.
SEWER JUNCTION
INV. 45.0 DEPTH: 2.5
NOTE: UP

NOTE:
APPROX. SEWER CLEARANCE LINE
(THIS LINE IS NOT AN EASEMENT)
IT IS A DESIGN LINE TO BE VERIFIED
BY WATER CORP. BEFORE ANY
DESIGN WORK IS UNDERTAKEN.
THIS LINE IS NOT DEFINITIVE.

| | |
|-----------------|---|
| Power Pole | ⊕ |
| Phone Pole | ⊖ |
| Water Conn. | ⊕ |
| Top Pillar/Post | ⊕ |
| Top Retaining | ⊕ |
| Top Fence | ⊕ |



LOT MISCLOSE
0.000 m

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/features and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

TOWN OF COTTESLOE
DATE RECEIVED
14 March 2024

87-89 Guthrie Street
Osborne Park, WA 6017
PO Box 1611
Osborne Park
Business Centre WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au



| | | | |
|---------|-------------------|--------|----------------------------------|
| JOB # | 549370 | GPS | Lat: -31.986068 Long: 115.770955 |
| ADDRESS | #138 Grant Street | LOT | Lot 24 (Plan 2562) |
| SUBURB | Claremont | AREA | 620m ² |
| LGA | TOWN OF COTTESLOE | VOL. | 1062 |
| DATE | 28 Jun 23 | FOL. | 729 |
| DRAWN | T.Currey | SSA No | |

| | | | |
|------------|-----------------|------------|--------------|
| ROADS | Bitumen | ELEC. | U/Ground |
| KERBS | Non-Mount / Nil | COMMS. | Yes |
| FOOTPATH | Concrete | WATER | Yes |
| SOIL | Sand | GAS | Check Alinta |
| DRAINAGE | Good | SEWER | Yes |
| VEGETATION | Refer to Survey | COASTAL No | |

(Approvate Only
Confirm With Shire)