

APPLICATION OF LOCAL DEVELOPMENT PLAN

- This Local Development Plan (LDP) operates in conjunction with the requirements of the Residential Design Codes (R-Codes) by applying additional controls or by varying the "Deemed-to-comply" provisions. Where this LDP varies any requirements of the R-Codes, compliance shall constitute "Deemed-to-comply", and community consultation in respect to those items is not required.
- Unless provided for below, the provisions of the Town of Cottesloe Local Planning Scheme No.3 and the R-Codes apply.

REQUIREMENTS

1. Residential Design Code - Lots 24 (No.126) and 25 (No.128) Railway Street, Cottesloe are coded Residential R60 in accordance with the Town of Cottesloe - Local Planning Scheme No.3.

2. Building Heights - Building height shall be in accordance with the requirements of the Town of Cottesloe - Local Planning Scheme No.3. No variations shall be permitted.

3. Setbacks

Railway Street Setbacks

- Buildings fronting Railway Street shall be setback a maximum of 4.0m and minimum of 2.0m.
- Undercroft car parking structures may be reduced to nil to a maximum of 30% of the lot boundary. The nil setback may be extended to 75% of the lot boundary subject to the creation of an aesthetic and articulated streetscape design, which may include the use of different building materials and colours. Any undercroft parking structure shall not protrude higher than 1.2m above the natural ground level of the boundary.
- Open sided structures such as porches, balconies, verandahs or the equivalent may be setback at nil from the Railway Street boundary.

Congdon Street Setbacks

- Development fronting Congdon Street shall be setback a maximum of 4.0m and minimum of 2.0m.
- Residential building setbacks may be reduced to nil for a maximum of 20% of the length of the lot boundary where only residential development is proposed adjacent to Congdon Street.
- Where commercial development is proposed, residential building setbacks may be reduced to nil for a maximum of 20% of the remaining balance of the length of the lot boundary.
- Open sided structures such as porches, balconies, verandahs or the equivalent may be setback at nil from the Congdon Street Boundary.

Commercial Development Setbacks

- Where commercial development is proposed, a nil setback shall be provided to the corner of Congdon Street and Railway Street generally where identified on this LDP.

Other Setbacks

- All other building setbacks shall be provided in accordance with the 'Deemed to Comply' provisions of the R-Codes.

4. Visual Privacy - Visual privacy shall be provided in accordance with the 'Deemed-to-comply' provisions of the R-Codes. No variations shall be permitted.

5. Open Space - For the purposes of calculating the open space requirements for a residential development, roof decks are excluded. Roof Deck means an open, accessible and useable flat roof and includes roof gardens, roof pools, viewing platforms and other roof top recreation space. No variations shall be permitted.

6. Plot Ratio - For multiple dwellings and mixed use development, maximum plot ratio shall be provided in accordance with the 'Deemed-to-comply' provisions of the R-Codes. No variations shall be permitted.

7. Outdoor Living Areas - Outdoor living areas (OLA's) are permitted within the front setback areas abutting Railway Street and Congdon Street.

8. Overshadowing - Overshadowing of adjacent properties must be no greater than 25% of the site area in accordance with the Deemed to Comply requirements of the R Codes. No variations shall be permitted.

9. Landmark Architecture - Development on the corner of Railway Street and Congdon Street shall include landmark architectural elements which identify the corner, provide visual interest and streetscape interaction.

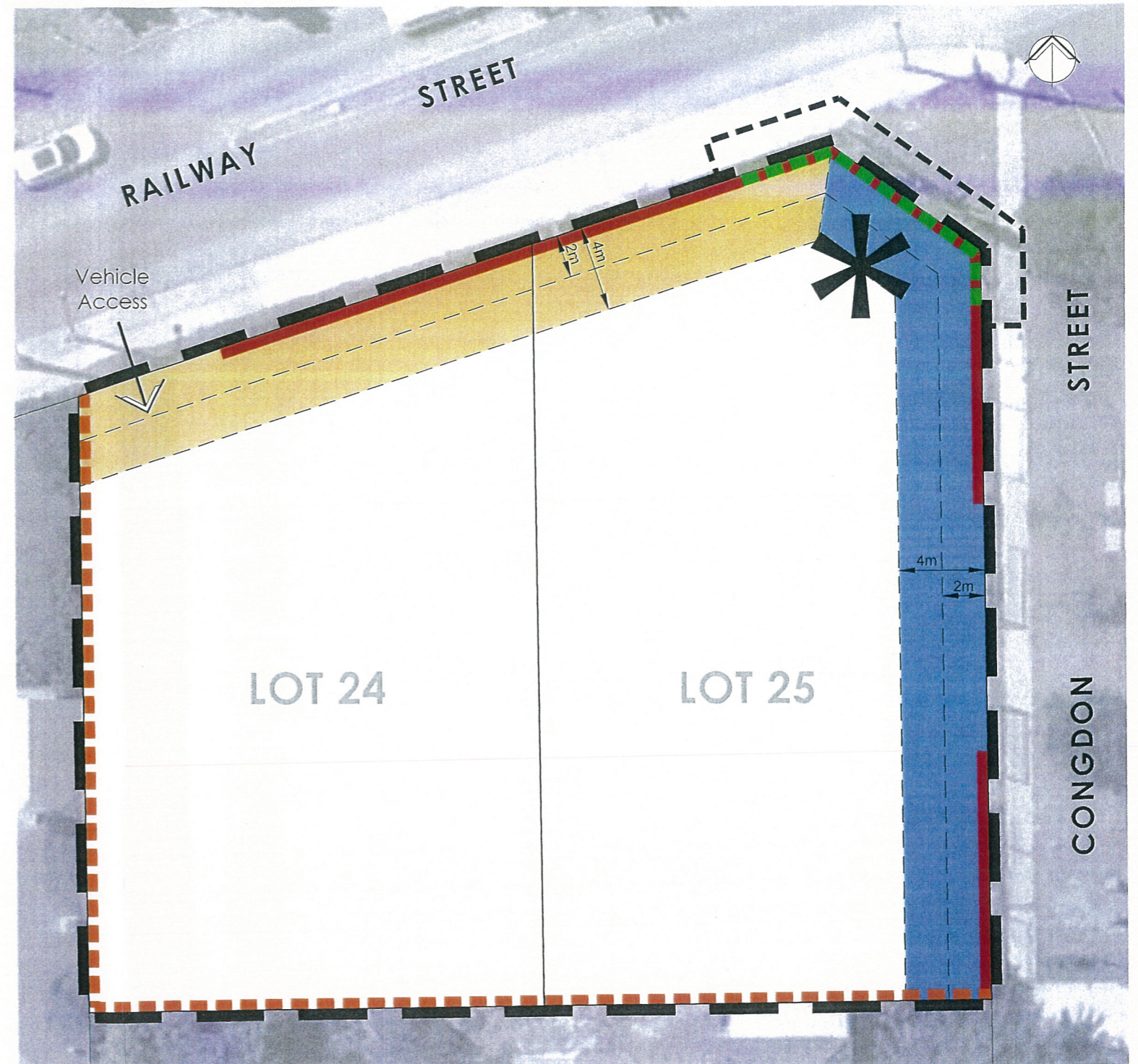
10. Awnings - Where commercial development is proposed, awnings may be provided to a maximum width of 2m generally where identified on this LDP.

11. Vehicle Access and Parking

- The primary access/egress shall be from Railway Street in the location shown on the LDP. No further vehicle access or egress is permitted on Railway Street.
- A secondary access/egress may be considered on Congdon Street generally in the location shown on the LDP. This secondary access/egress shall be 'left in' - 'left out' only. No further vehicle access or egress is permitted on Congdon Street.
- All car parking requirements shall be as per Table 3 of the Town of Cottesloe Local Planning Scheme No. 3. No variations shall be permitted.
- Any at-grade resident parking shall be screened from both Railway Street and Congdon Street.

12. Road Reserve Infrastructure - Changes to the road carriageway and verge areas for the purpose of traffic calming and management, may be required by the Town of Cottesloe. The developer of Lots 24 and 25 may be required to make a pro-rata contribution towards these works.

13. Landscaping - A Landscape Management Plan (LMP) shall be provided, either with a development application, or as a condition of development approval, to the satisfaction of the Town of Cottesloe. The Landscape Management Plan shall include all verge areas directly adjacent to Lots 24 and 25 and must address sustainability; deep soil planting; visual amenity; water sensitive urban design; water-wise planting; and objectives for long term tree establishment.



LEGEND

- | | | | |
|--|----------------------------------|--|--|
| | LDP Boundary | | Nil commercial building setback (refer requirement 3) |
| | Vehicle access | | Maximum 4.0m setback, minimum 2.0m setback with potential incursions to nil for undercroft parking structures (refer requirement 3) |
| | No vehicle access permitted | | Maximum 4.0m setback, minimum 2.0m setback with potential incursions to nil for no more than 20% of the frontage (refer requirement 3) |
| | Boundary setbacks as per R-Codes | | Awning to a maximum of 2.0m (refer requirement 6) |
| | Landmark Architecture | | |

LOCAL DEVELOPMENT PLAN

LOTS 24 (No. 126) AND 25 (No. 128) RAILWAY STREET, COTTESLOE

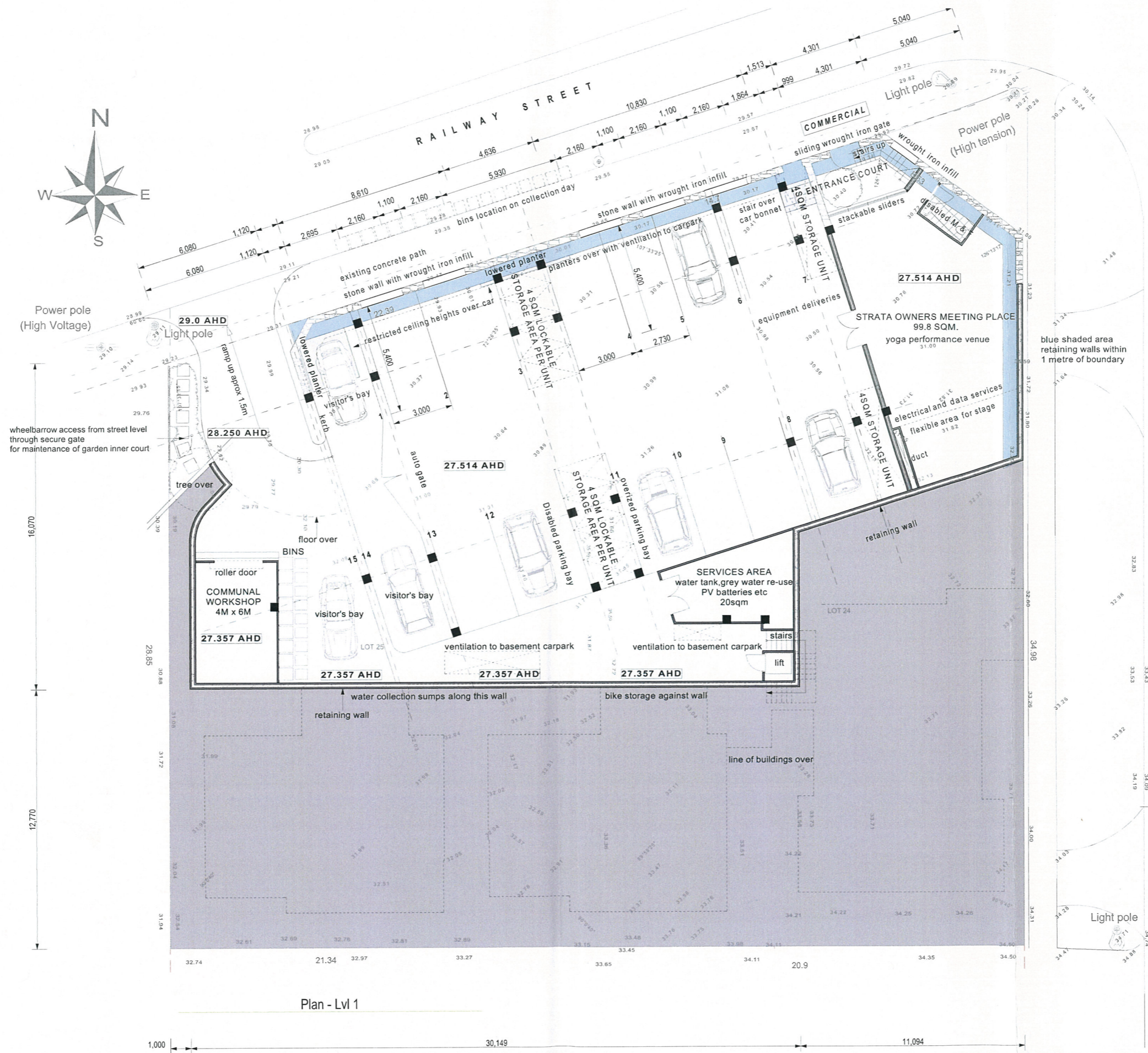
TOWN OF COTTESLOE LOCAL PLANNING SCHEME No. 3

THIS LOCAL DEVELOPMENT PLAN HAS BEEN APPROVED BY THE TOWN OF COTTESLOE UNDER CLAUSE 52(1)(a) OF THE DEEMED PROVISIONS OF THE TOWN OF COTTESLOE LOCAL PLANNING SCHEME NO. 3.

SIGNATURE

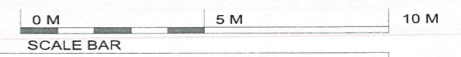
24/10/2018

DATE



CONGDON STREET

TOWN OF COTTESLOE
13 DEC 2018
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ECOTECT-ARCHITECTS
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address | 4/136 Railway St Swanbourne WA
phone | +61 8 9286 3811
email | contact@ecotect-architects.com

CLIENT/PROJECT:
MIXED USE DEVELOPMENT
ON LOT 26 (formerly Lots 24 & 25)
RAILWAY STREET, COTTESLOE.

DRAWING TITLE
PLAN - LEVEL 1

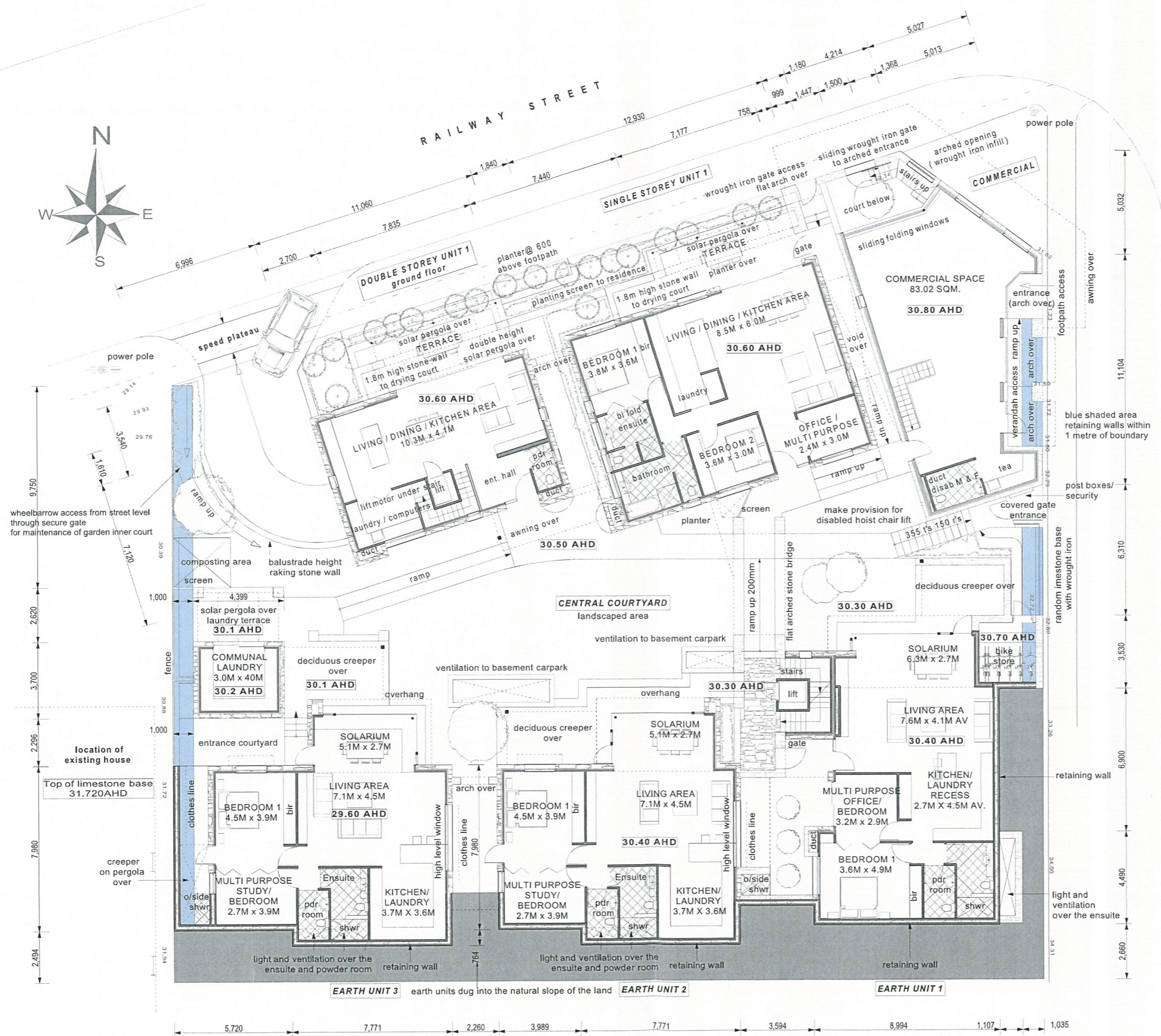
PROJECT STATUS:
PLANNING APPROVAL

ARCHITECT:
James Shaw
DRAWN:

SCALE:
PRINT DATE:
12/12/2018

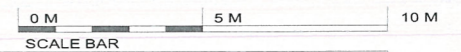
PROJECT NO:
15001
REVISION

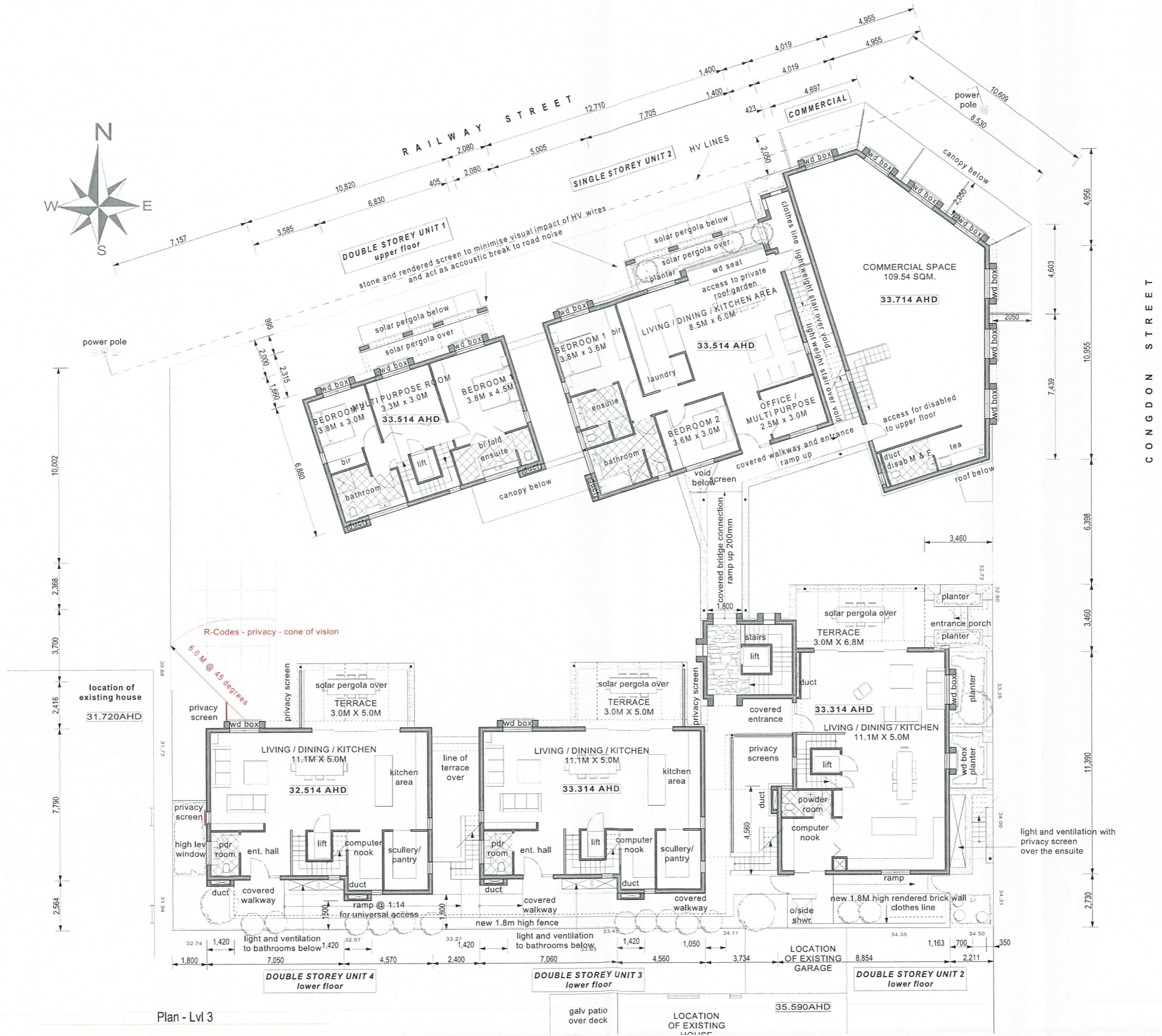
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CD01



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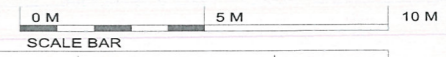
Plan - Lvl 2



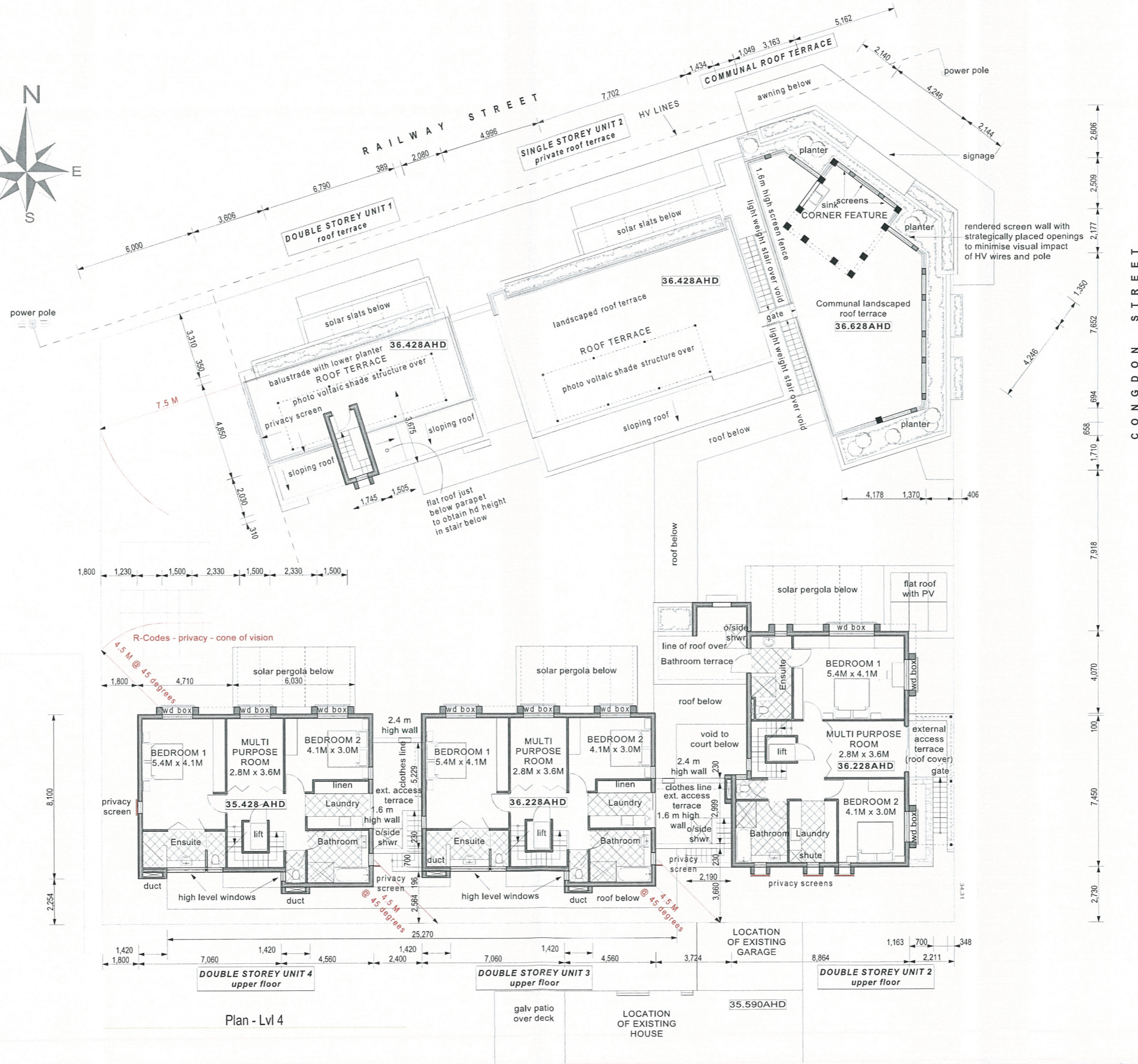


Plan - Lvl 3

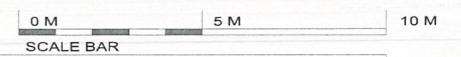
TOWN OF COTTESLOE
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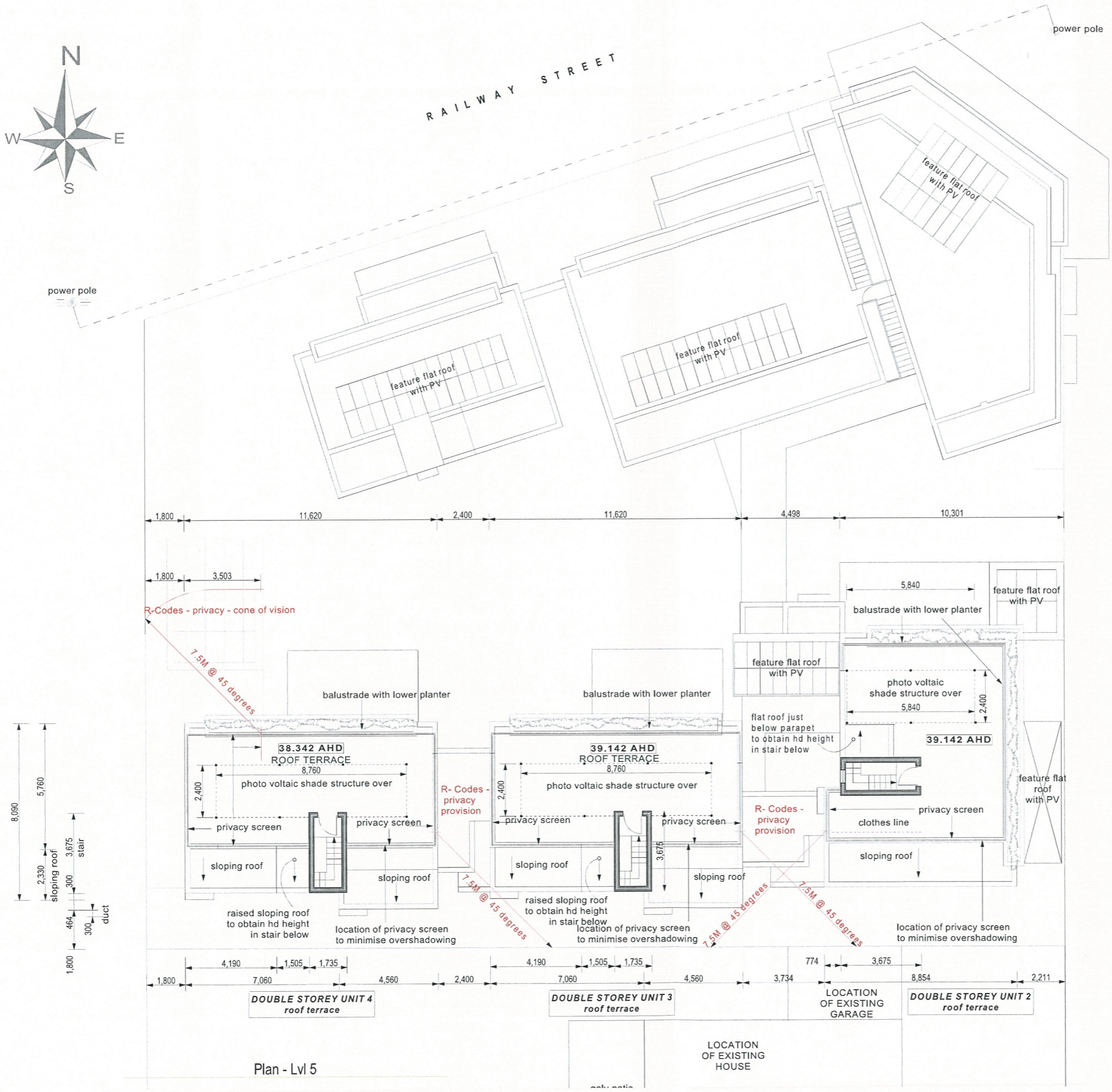
ECOTECT-ARCHITECTS energy efficient architecture + urban design	address 4/136 Railway St Swanbourne WA phone +61 8 9286 3811 email contact@ecotect-architects.com	CLIENT/PROJECT: MIXED USE DEVELOPMENT ON LOT 26 (formerly Lots 24 & 25) RAILWAY STREET, COTTESLOE.	DRAWING TITLE PLAN - LEVEL 3	PROJECT STATUS: PLANNING APPROVAL	ARCHITECT: James Shaw	SCALE: PRINT DATE: 12/12/2018	PROJECT NO: 15001 REVISION	DWG NO: CD03



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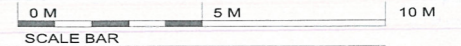


ECOTECT ARCHITECTS energy efficient architecture + urban design	address 4/136 Railway St Swanbourne WA phone +61 8 9286 3811 email contact@ecotect-architects.com	CLIENT/PROJECT: MIXED USE DEVELOPMENT ON LOT 26 (formerly Lots 24 & 25) RAILWAY STREET, COTTESLOE.	DRAWING TITLE PLAN - LEVEL 4	PROJECT STATUS: PLANNING APPROVAL	ARCHITECT: James Shaw DRAWN:	SCALE: PRINT DATE: 12/12/2018	PROJECT NO: 15001 REVISION	DWG NO: CD04
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Plan - Lvl 5

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CLIENT/PROJECT:
MIXED USE DEVELOPMENT
ON LOT 26 (formerly Lots 24 & 25)
RAILWAY STREET, COTTESLOE.

DRAWING TITLE
PLAN - LEVEL 5

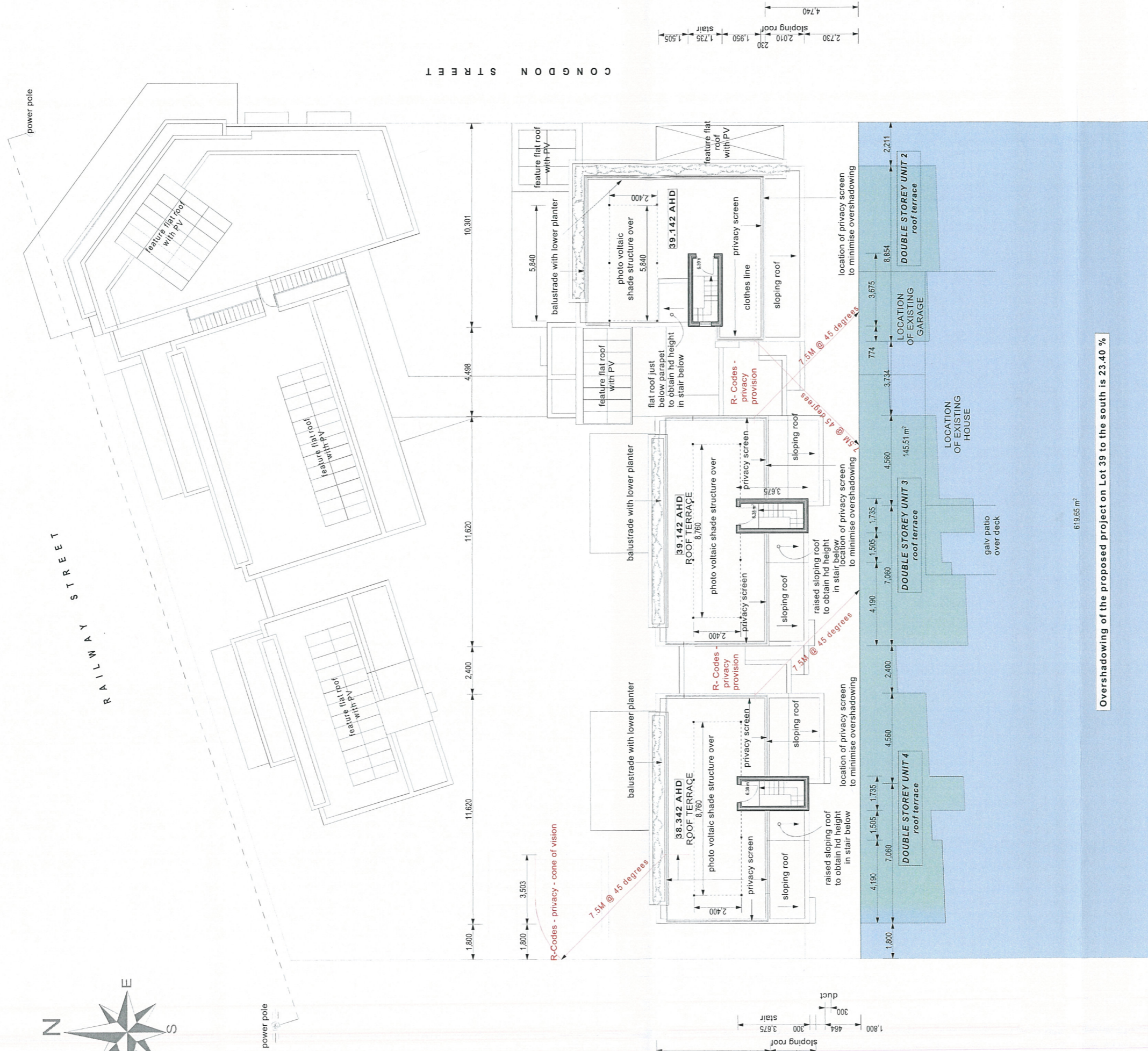
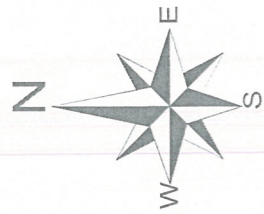
PROJECT STATUS:
PLANNING APPROVAL

ARCHITECT:
James Shaw
DRAWN:

SCALE:
PRINT DATE:
12/12/2018

PROJECT NO:
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REVISION

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CD05



Overshadowing plan

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Rev	Date	Drawn	Check
1			
2			
3			

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PROJECT STATUS: **preliminary**

CLIENT/PROJECT:
 MIXED USE DEVELOPMENT
 ON LOT 26 (formerly lots 24 & 25)
 RAILWAY STREET, COTTESLOE.

ARCHITECT:
 James Shaw

DRAWN:
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SCALE:
 1:100

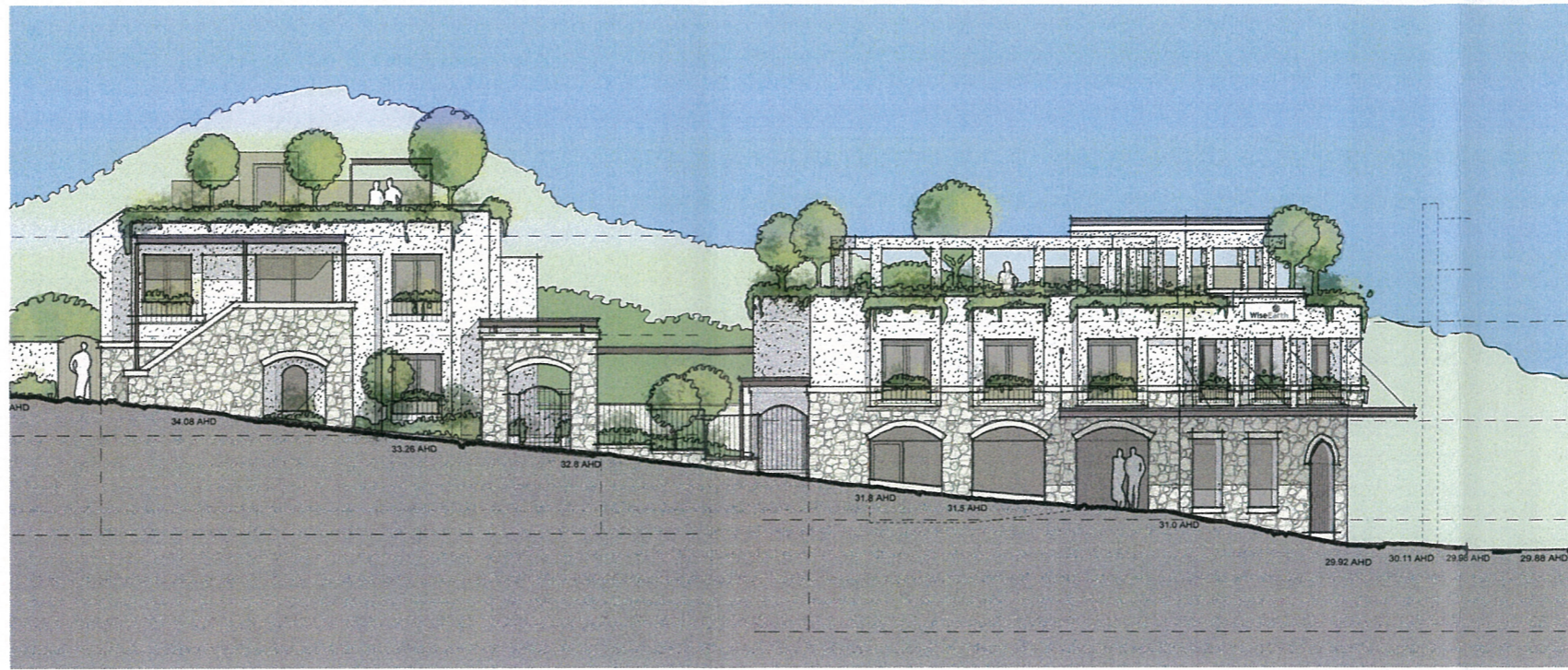
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 12/12/2018

PROJECT NO:
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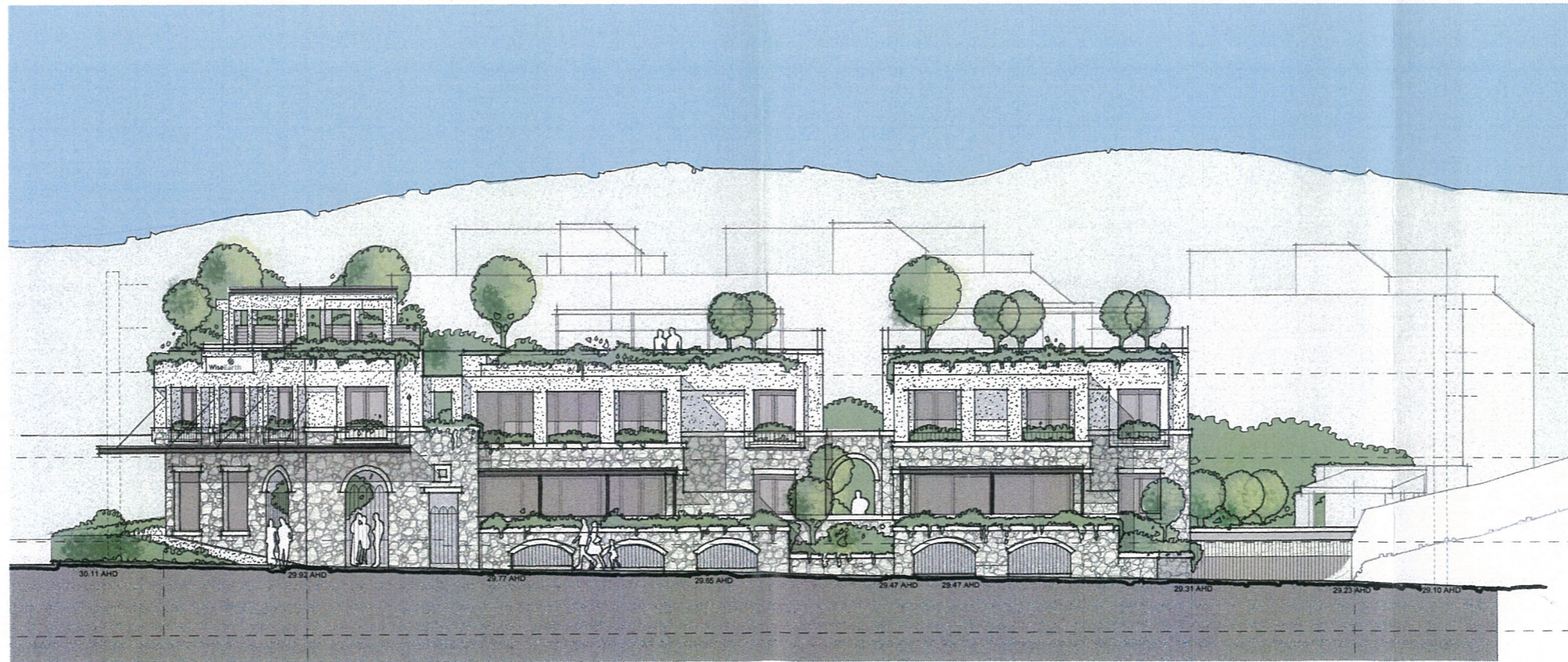
REVISION
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DWG NO:
CD06

DRAWING TITLE
OVERSHADOWING PLAN



CONGDON STREET ELEVATION



RAILWAY STREET ELEVATION

TOWN OF COTTESLOE
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0 M 5 M 10 M
 SCALE BAR

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CLIENT/PROJECT:
**MIXED USE DEVELOPMENT
 ON LOT 26 (formerly Lots 24 & 25)
 RAILWAY STREET, COTTESLOE.**

DRAWING TITLE
ELEVATIONS - COLOURED

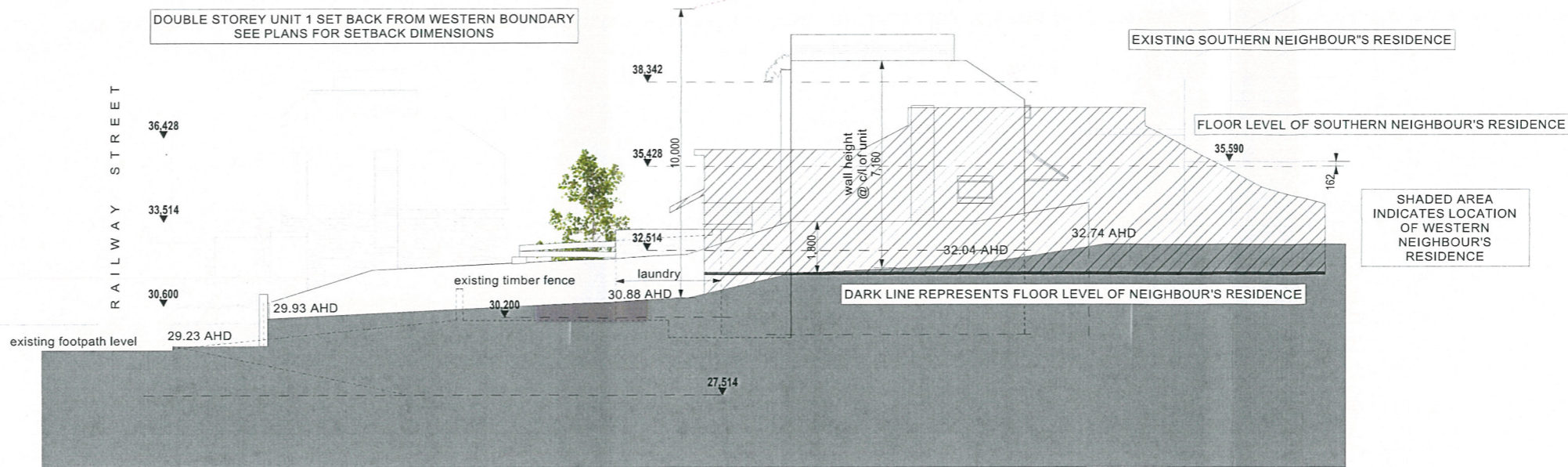
PROJECT STATUS:
PLANNING APPROVAL

ARCHITECT:
 James Shaw
 DRAWN:

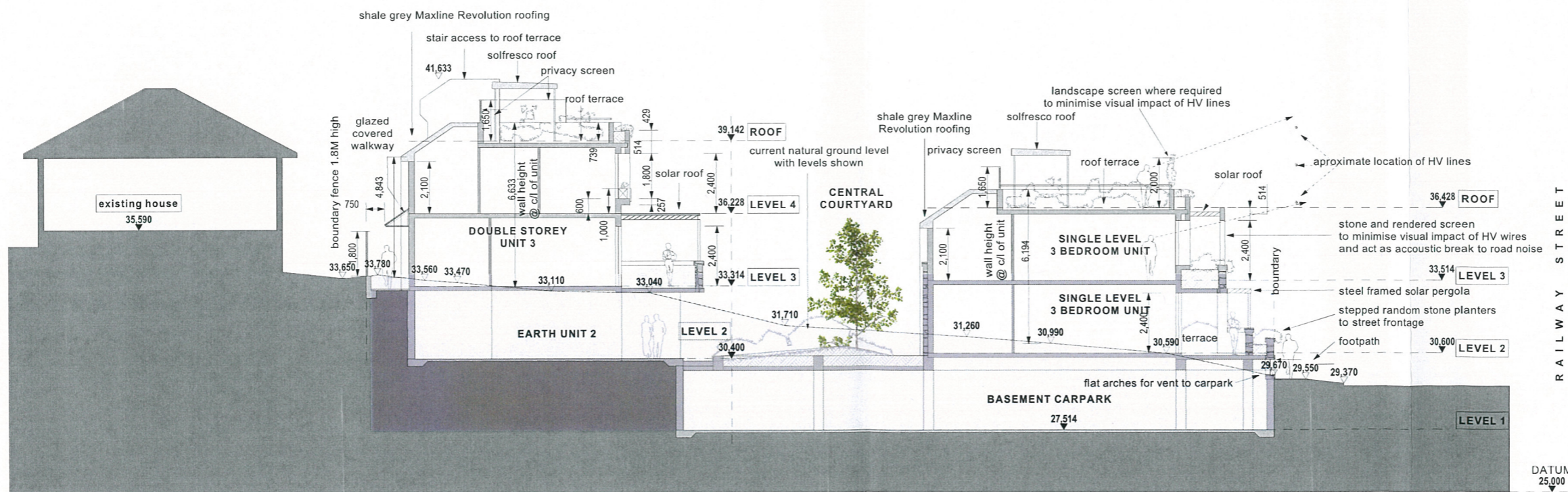
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 13/12/2018

PROJECT NO:
 15001
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DWG NO:
CD07

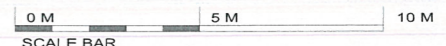


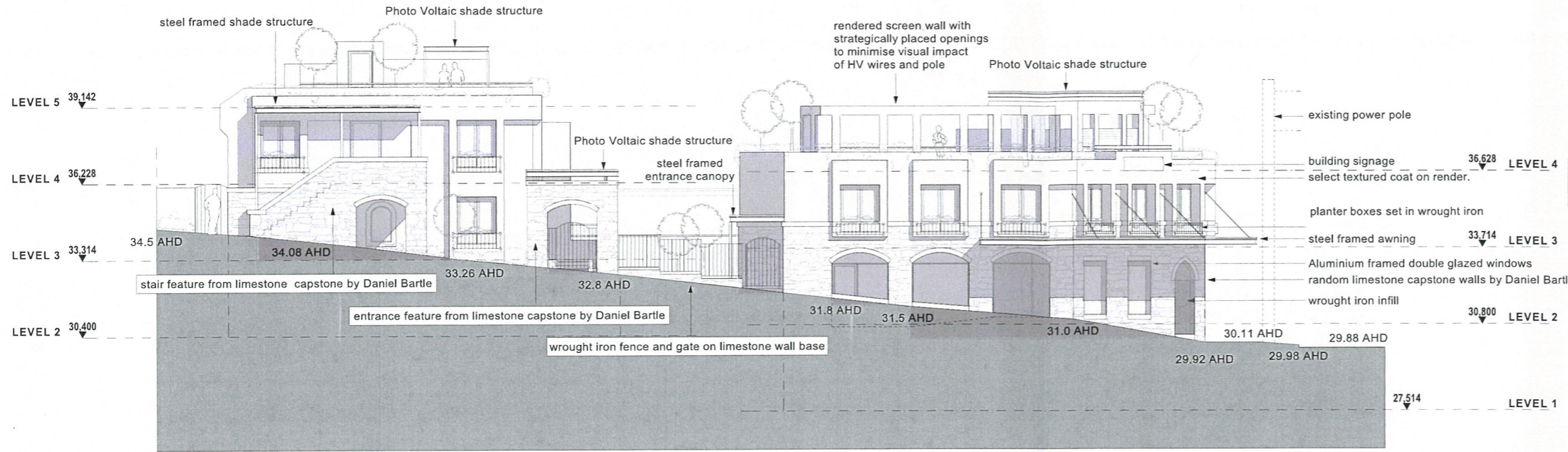
West Elevation



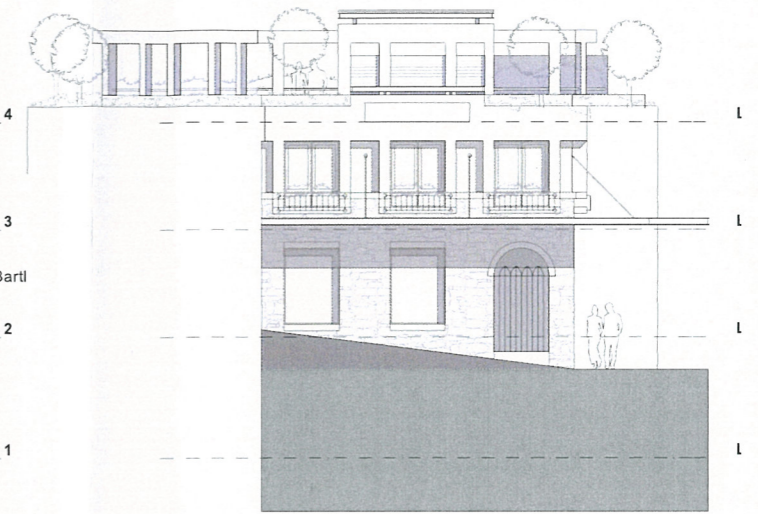
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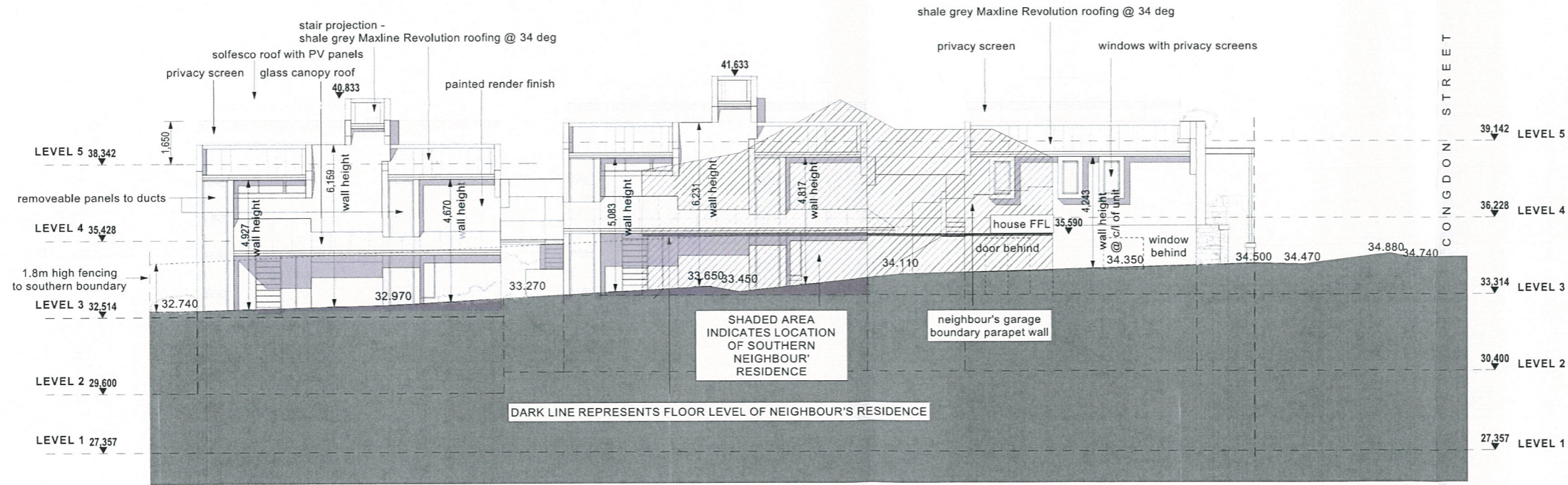




East Elevation

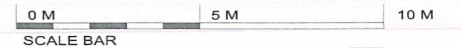


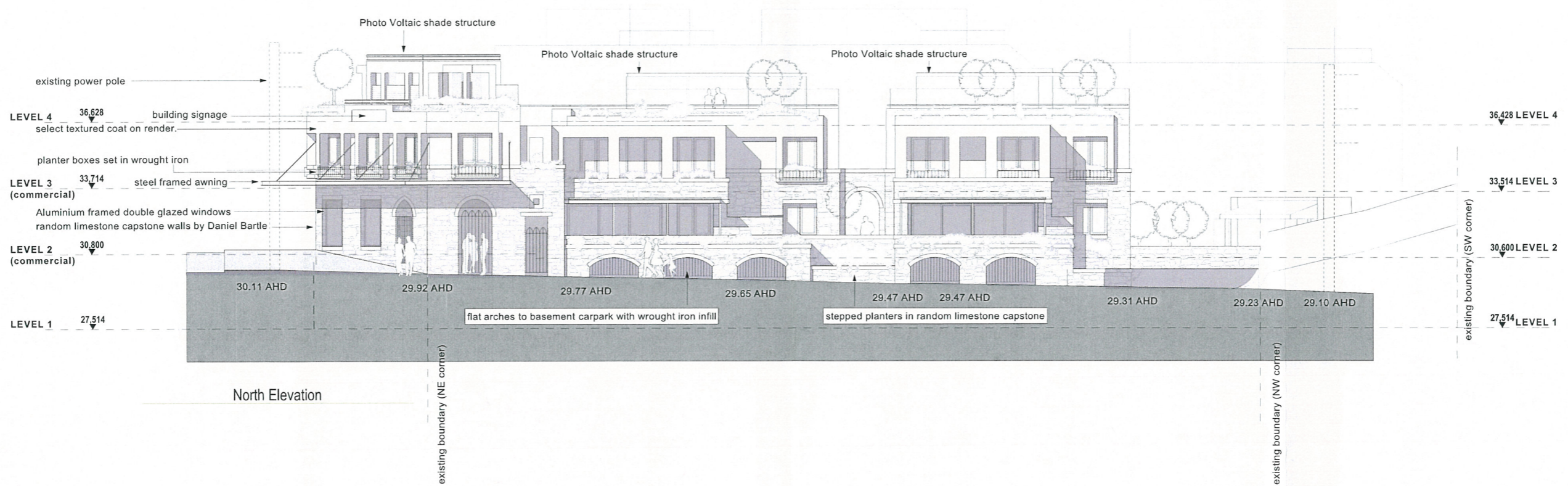
North East corner Elevation



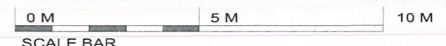
South Elevation

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CLIENT|PROJECT:
**MIXED USE DEVELOPMENT
 ON LOT 26 (formerly Lots 24 & 25)
 RAILWAY STREET, COTTESLOE.**

DRAWING TITLE
ELEVATION

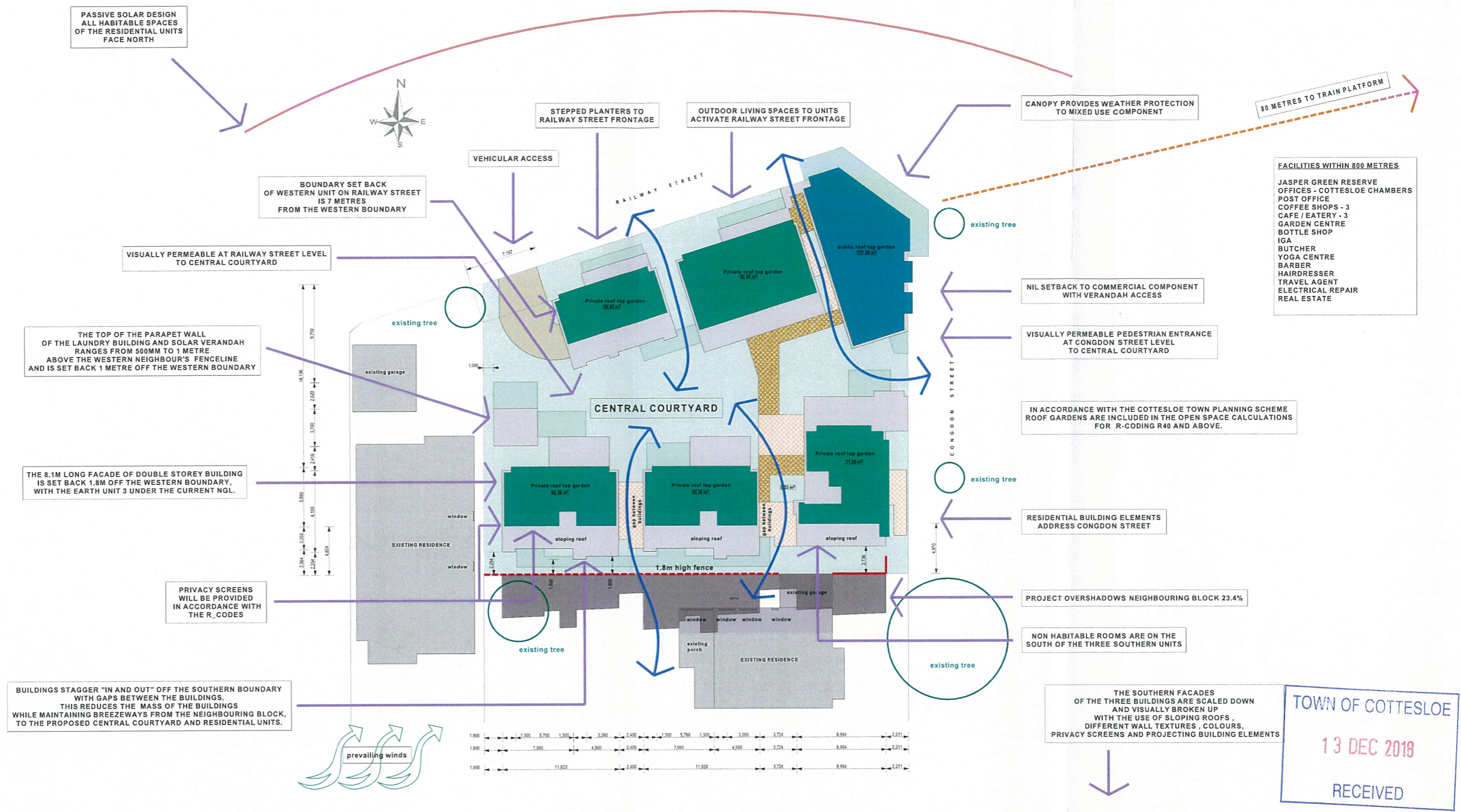
PROJECT STATUS:
PLANNING APPROVAL

ARCHITECT:
 James Shaw
 DRAWN:

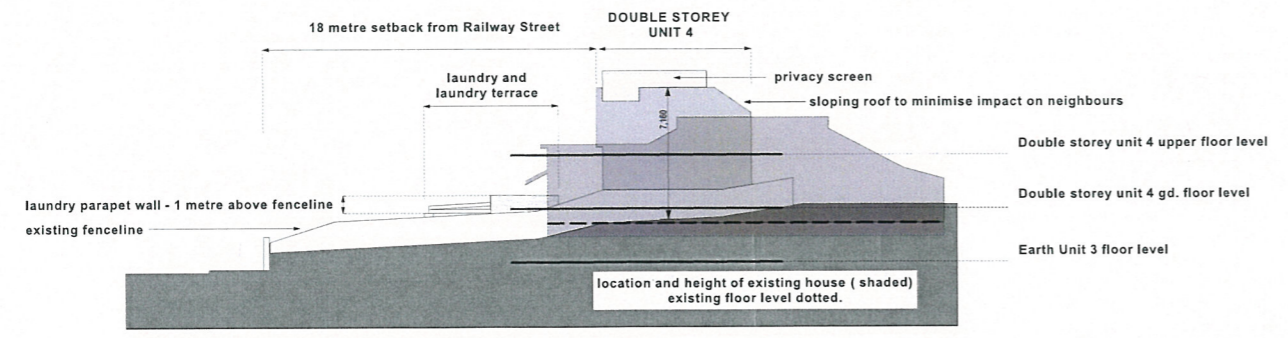
SCALE:
 PRINT DATE:
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PROJECT NO:
 15001
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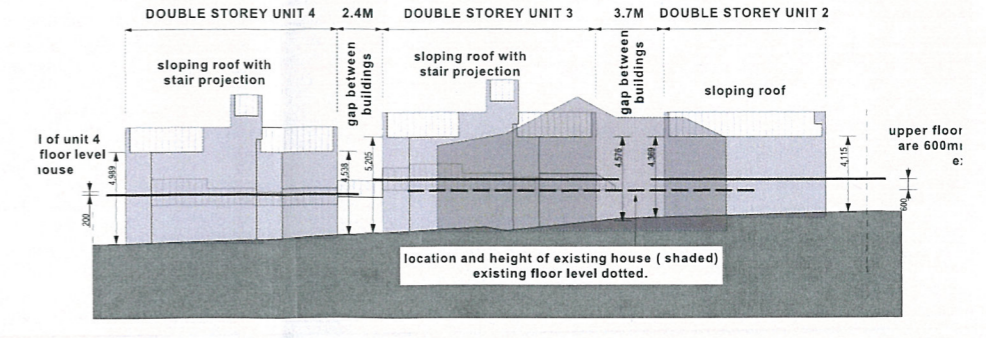
DWG NO:
CD10



Site Analysis plan



West elevation



South elevation



RAILWAY STREET



CONGDON STREET

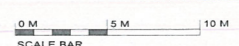
OPEN SPACE CALCULATION
ROOF TOP GARDENS - 443.63 sqm
COURTYARD - 302.17
TOTAL - 745.80
50.5% OPEN SPACE

TOWN OF COTTESLOE

13 DEC 2018

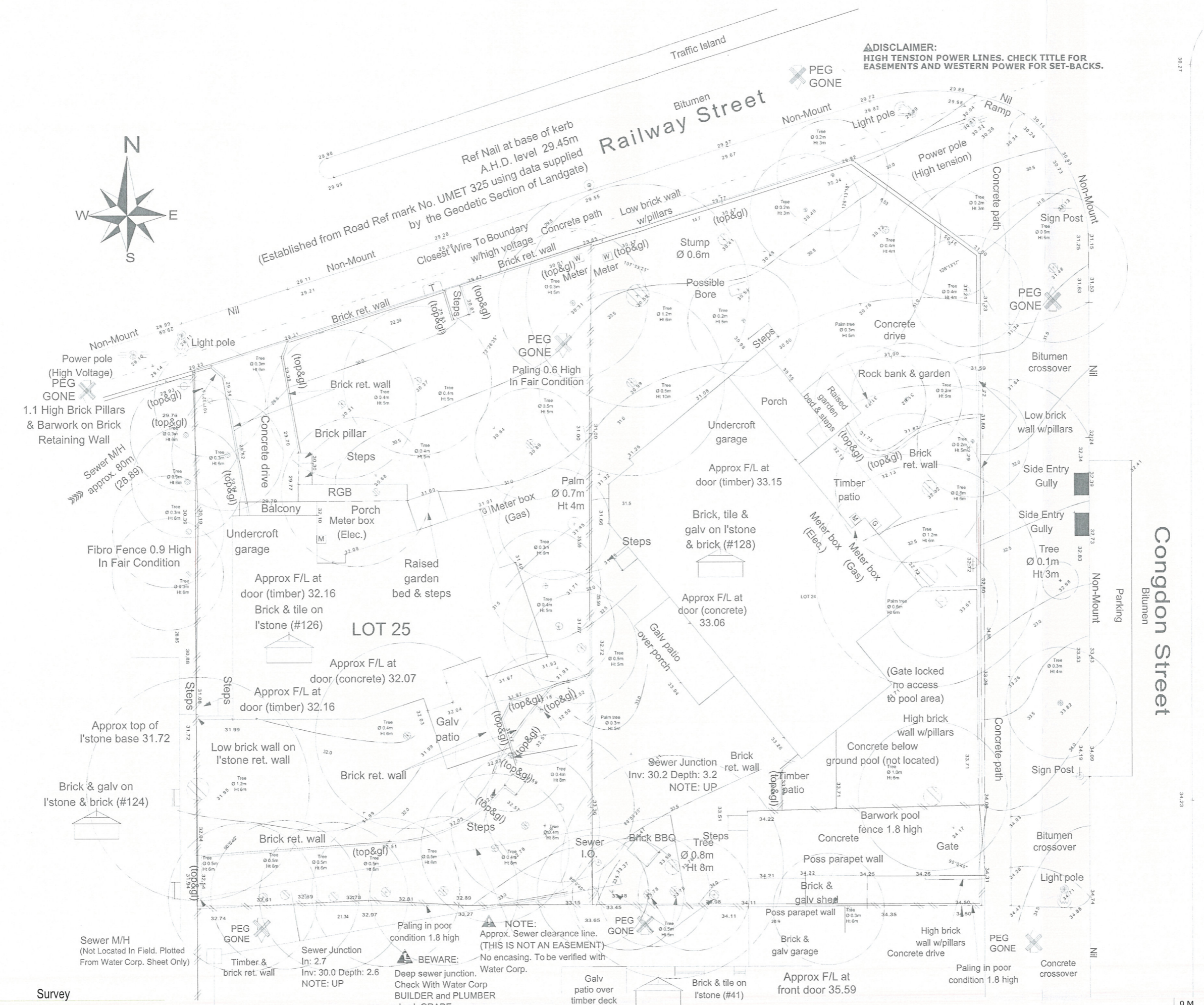
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Open Space Plan





DISCLAIMER:
HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.



TOWN OF COTTESLOE
13 DEC 2018
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Survey

NOTE:
Approx. Sewer clearance line.
(THIS IS NOT AN EASEMENT)
No encasing. To be verified with Water Corp.

BEWARE:
Deep sewer junction.
Check With Water Corp
BUILDER and PLUMBER
check GRADE.

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CLIENT/PROJECT:
**MIXED USE DEVELOPMENT
ON LOT 26 (formerly Lots 24 & 25)
RAILWAY STREET, COTTESLOE.**

DRAWING TITLE
SITE SURVEY

PROJECT STATUS:
PLANNING APPROVAL

ARCHITECT:
James Shaw
DRAWN:

SCALE:
PRINT DATE:
12/12/2018

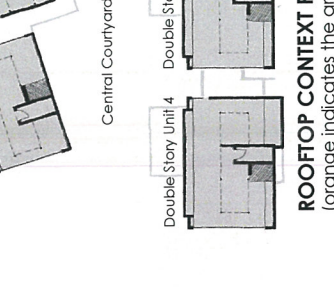
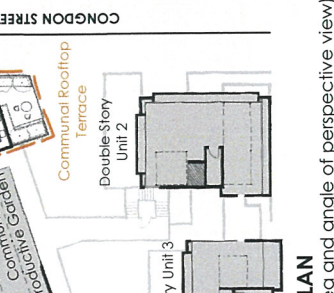
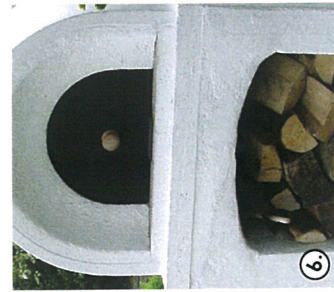
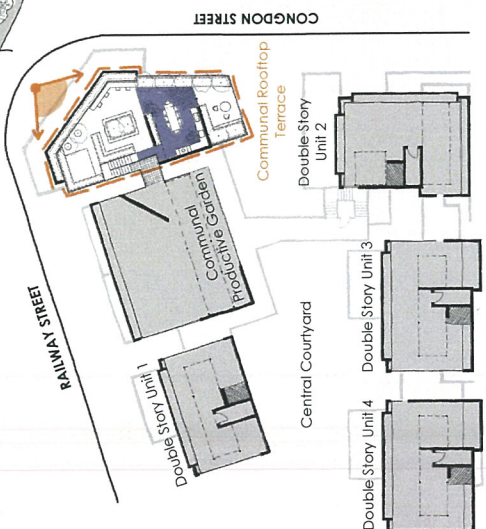
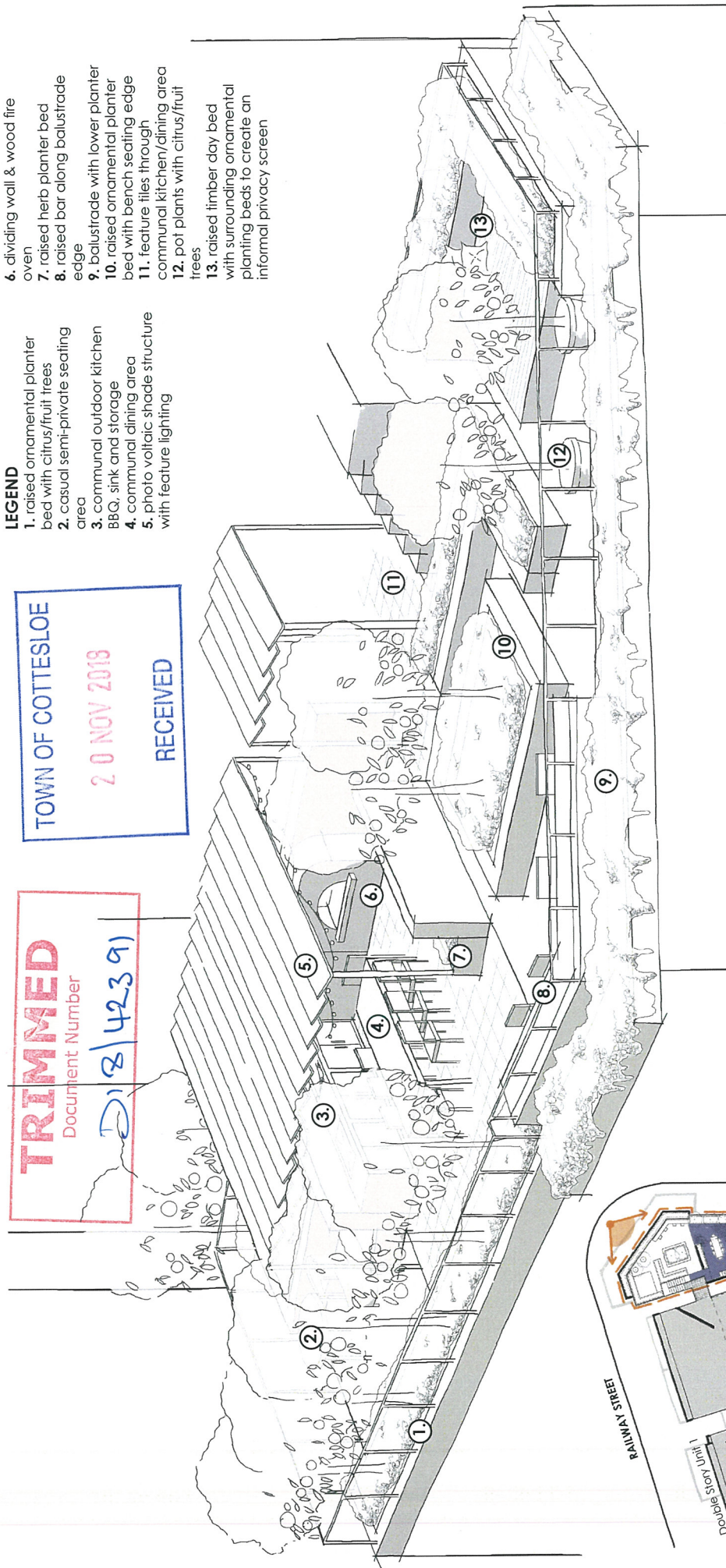
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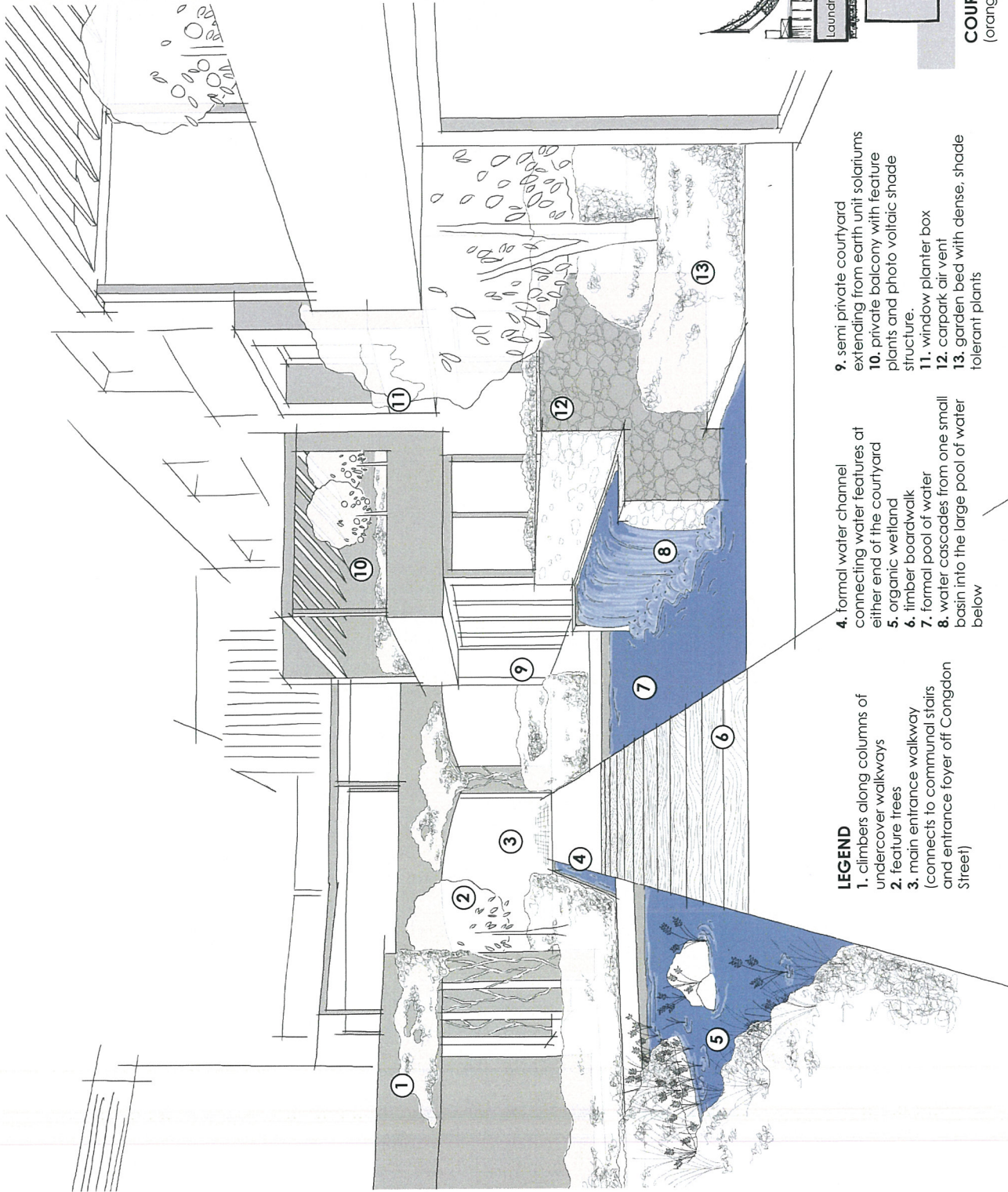
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CD13

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Document Number
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- LEGEND**
1. raised ornamental planter bed with citrus/fruit trees
 2. casual semi-private seating area
 3. communal outdoor kitchen BBQ, sink and storage
 4. communal dining area
 5. photo voltaic shade structure with feature lighting
 6. dividing wall & wood fire oven
 7. raised herb planter bed
 8. raised bar along balustrade edge
 9. balustrade with lower planter
 10. raised ornamental planter bed with bench seating edge
 11. feature tiles through communal kitchen/dining area
 12. pot plants with citrus/fruit trees
 13. raised timber day bed with surrounding ornamental planting beds to create an informal privacy screen





LEGEND

- 1. climbers along columns of undercover walkways
- 2. feature trees
- 3. main entrance walkway (connects to communal stairs and entrance foyer off Congdon Street)
- 4. formal water channel connecting water features at either end of the courtyard
- 5. organic wetland
- 6. timber boardwalk
- 7. formal pool of water
- 8. water cascades from one small basin into the large pool of water below
- 9. semi private courtyard extending from earth unit solariums
- 10. private balcony with feature plants and photo voltaic shade structure.
- 11. window planter box
- 12. carpark air vent
- 13. garden bed with dense, shade tolerant plants



1



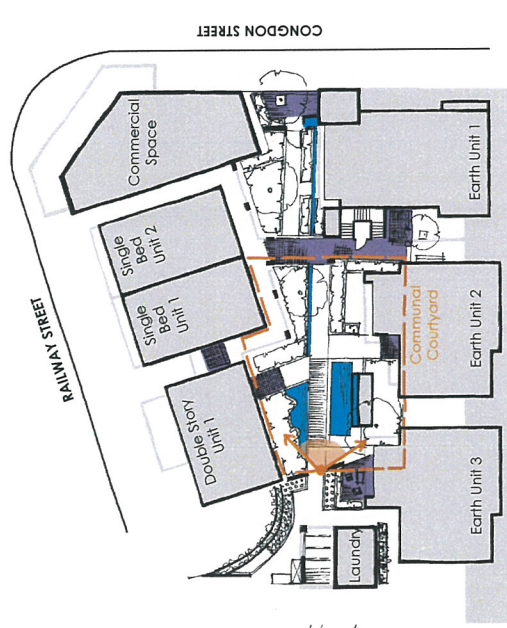
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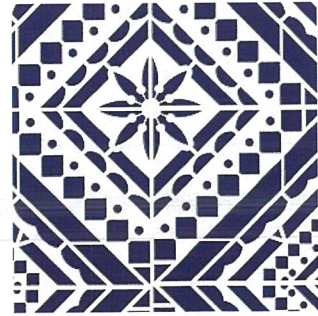
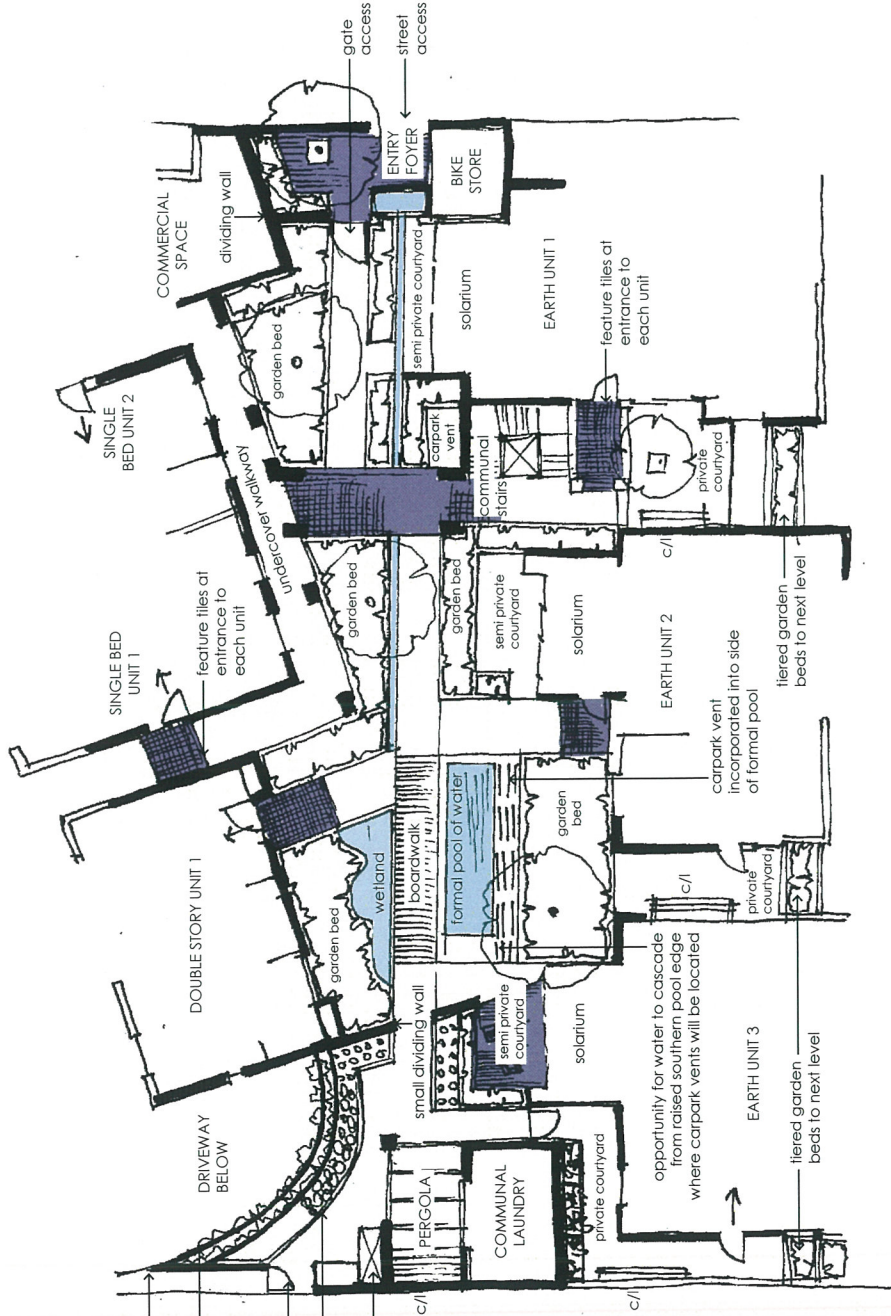


COURTYARD CONTEXT PLAN

(orange indicates the area and angle of perspective view)



There are several water elements within the 'ground floor' courtyard which will create softened soothing noise whilst cleverly dividing intimate and shared spaces. Commencing at the entrance foyer water will flow from a low key free standing or wall mounted water bubbler into a formal channel which will feed into a centrally located pool of water and adjoining organic wetland. This water element reflects the Mediterranean/North African garden style which will complement the building style.



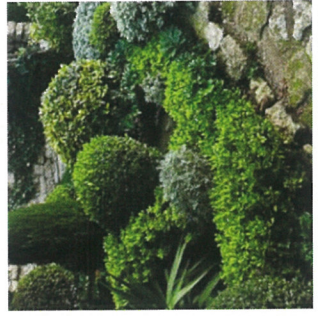
feature tiles along the main walkway and at the entrance to each unit (highlighted dark blue on plan)



semi private courtyard extending from unit solariums



main entrance walkway with feature tiles and arched columns to courtyard areas



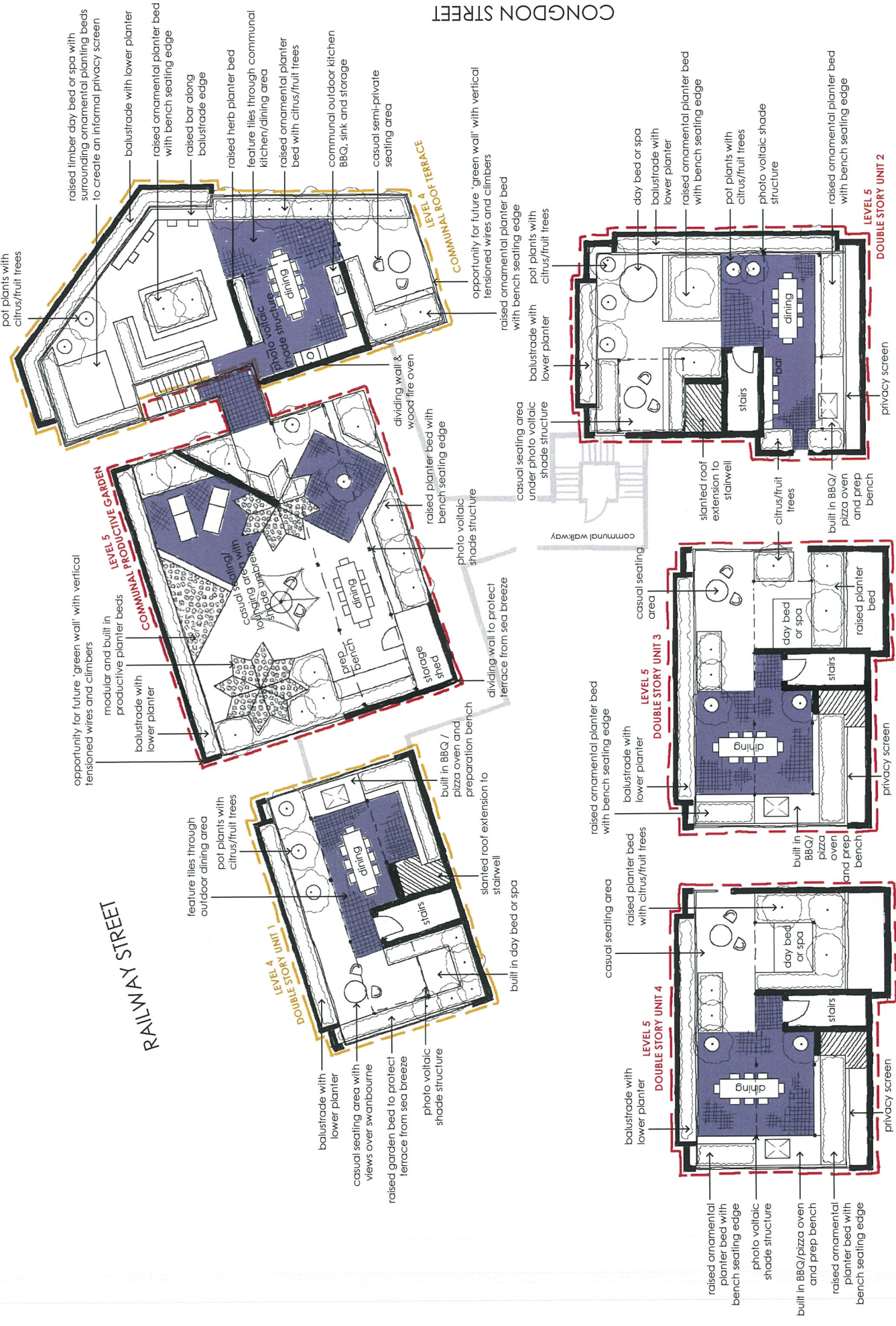
dense, shade tolerant plants throughout garden bed areas



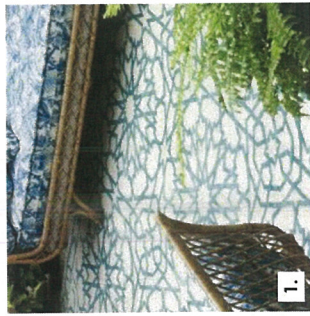
climbers along columns of undercover walkways



productive vegetable & herb beds next to garden shed and compost facilities



1. Feature tiles define outdoor entertaining areas for casual gatherings & formal dining, as well as at entrance of each unit and rooftop terrace.



4. A large communal dining table and outdoor kitchen facilities allow for an array of entertaining possibilities



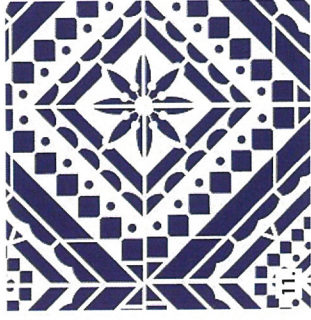
6. Beautiful pot plants of different shapes and sizes feature throughout the communal and private areas to accumulate the Mediterranean/North African style. Not only are they modular but also individual pieces of art within landscape



8. Feature lighting to be included underneath the photo voltaic shade structures in both the communal and private areas to create an equally warm night time experience



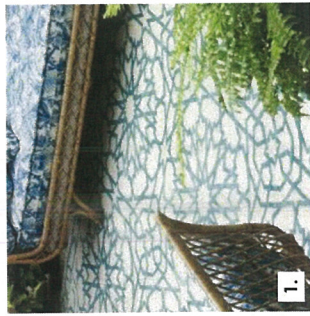
11. The geometric pattern of the feature tiles have inspire of the layout of the communal productive garden



2. Raised modular productive planter beds incorporating timber and steel in geometric shapes



3. Raised informal bar along balustrade edge in a number of terrace spaces



9. Opportunity for luxurious day beds or spas, semi hidden among raised planter beds in several private terraces and the main communal terrace. Opportunity for storage beneath day bed of pillows and cushions



5. Citrus and fruit trees are located on roof terraces to add to the Mediterranean/North African style, whilst also providing edible fruits



7. A wood fire pizza oven to be the centre piece of the dining areas, on several of the rooftop terraces



10. Herb gardens to be incorporated within several of the rooftop terraces conveniently located to the outdoor kitchen facilities



12. Opportunity to incorporate natural, warm timbers into the casual seating areas within both the communal and private areas

